



REPORT

To: Chair and Directors

Date: May 7, 2019

From: Kole Casey, South Peace Land Use Planner

Subject: Temporary Use Permit No. 18-288

RECOMMENDATION: *[Corporate Unweighted]*

That the Regional Board authorize the issuance of Temporary Use Permit No. 18-288 for 024-589-543, for a period of one and a half years ending November 30, 2020 to develop a ±652 sq. m (7,020 sq. ft) building for the operation of a commercial storage facility; further, that issuance of Temporary Use Permit No. 18-288 be withheld pending receipt of financial security in the amount of \$5,500 in the event the building must be dismantled and removed, and confirmation that the applicant has applied for and received a Commercial Access Permit from the Ministry of Transportation and Infrastructure.

BACKGROUND/RATIONALE:

PROPOSAL: Development of a ±652 sq. m (7,020 sq. ft) building for the operation of commercial storage for the following but not limited to: recreational vehicles, all-terrain vehicles, farm equipment, furniture, household items, as shown in the shaded area of Schedule 'A'.

SITE DETAILS

OWNERS: Patrick & Sherilyn Borton

AGENT: N/A

AREA: Electoral Area 'E'

PRRD FILE NUMBER: 18-288

LEGAL DESCRIPTION: Lot 1, District Lot 2097 PRD Plan PGP43510

PID: 024-589-543

CIVIC ADDRESS: 4049 Norris Rd.

LOT SIZE: 1.7 ha (4.2 ac)

LOCATION: Chetwynd area

SITE CONTEXT

The subject property is located west of the District of Chetwynd between Highway 29 and Jackfish Lake Road. The general area is a mix of residential developed land, developed industrial and commercial lots, and an agricultural parcel lower in the valley.

SITE FEATURES

LAND: The subject parcel is developed for residential use with a small forested portion.

STRUCTURES: One existing house and shop.

ACCESS: Site access is from Norris Road.

FIRE: Chetwynd Rural Fire Protection Area.

BUILDING INSPECTION AREA: Within the mandatory building permit area.

Dept. Head:

CAO:

Page 1 of 6

May 30, 2019

COMMENTS AND OBSERVATIONS:

APPLICANT: It is the intent of applicant to use the property for cold storage for public use. The applicant would like to install fencing and security for the parcel for this use. The applicant is also planning on constructing a ±652 sq. m (7,020 sq. ft) covered storage for 6 recreational vehicles and other public storage.

ALR: The subject property is outside the Agricultural Land Reserve.

OCP:

West Peace Official Community Plan Bylaw No. 1086, 1997.

Pursuant to the West Peace Official Community Plan Bylaw No. 1086, 1997, the subject property is designated 'Residential', which is intended for low density clustered growth. Despite this 'Residential' section, the West Peace Official Community Plan also states the following objectives (Section 5.2):

- A. To protect agricultural land to ensure the continued viability of agriculture.
- B. To promote a settlement and land use pattern that is compatible with physical and the man-made environment.
- C. To conserve the various unique and sensitive parts of the environment and to safeguard development from natural and man-made hazards.
- D. The preferred development pattern is clustered growth which is to take place on non-agricultural land reserve dedicated areas.

Section 6.2 – Residential Policies

Residential Area Preamble:

The Residential designation signifies that the predominant land use is for residential purposes. Home occupations or home industries may be considered as a venue for additional economic development for individuals situated within an area with a residential designation.

Section 6.2.1 Residential Development Policies:

This proposal does not fit with any of the Residential policies laid out within this OCP.

Section 6.4 Industrial Policies

Industrial Area Preamble:

The Industrial designation is for lands intended for industrial or manufacturing purposes, including but not limited to agri-business, manufacturing and storage, or natural resource extraction processing activities. Overall the industrial designation means that the predominant land use will be for industrial purposes.

Section 6.4.1 Industrial Development Policies

- 1) Good access to a primary or secondary highway is essential OR access to a railway system is required
- 2) Adequate on-site parking is required
- 3) Adequate on-site loading and unloading space is required
- 4) The development should be on land with grades in the 0° to 5° range

- 5) The site must be able to carry heavy loads and in areas that are well drained. The preferred soil type is well graded, well compacted clayey-sands or gravel
- 6) Adequate buffering by the use of berms, screens, fences or trees shall be provided where any development is adjacent to any primary or secondary highways or residential areas, as per the Peace River Regional District Screening By-law No. 800, 1992 (*Redacted*)

Comment:

- *This area is adjacent to a major road.*

As the application does not fit within either the Residential land use designation of the West Peace Fringe Area Official Community Plan, this proposal either requires an OCP amendment to an Industrial land use designation, or a Temporary Use Permit.

Section 7 Temporary Designations

Section 7.2 of the OCP states: All regions within the West Peace Official Community Plan may be utilized for temporary industrial use purposes. A temporary use permit may be issued if the following conditions prevail:

- a. The site is adjacent to a major road or railway track.
- b. The impacts to agricultural land, settlement areas, and residential areas are kept to a minimum.
- c. All other development policies for the industrial land use designation have been met, as outlined in Section 6.4 of this by-law.

ZONING:

Peace River Regional District Zoning Bylaw No. 1343, 2001

Pursuant to the Peace River Regional District Zoning Bylaw No. 1343, 2001, the subject property is zoned R-3 (Residential 3 Zone).

A recreational vehicle and boat storage facility is not considered a home based business and is not a permitted use within the R-3 zone.

Section 13: Accessory Building Floor Area:

The maximum accessory building floor area must not exceed 187 sq. meters ($\pm$ 2016 sq. ft) for this size of parcel besides what is excluded from the calculation in section 13.3 i.e. farm buildings, small sheds.

The property owner submitted an OCP and Zoning amendment application to accommodate this use and the Board gave third reading to OCP and Zoning amendment bylaws on July 26, 2018. Zoning Amendment Bylaw No. 2319, 2018 currently requires Ministry of Transportation and Infrastructure approval as Per Section 52 of the *Transportation Act* before adoption can be granted.

As the application is not consistent with the current zoning, this proposal requires either a re-zoning amendment or a Temporary Use Permit.

Staff Comment:

The applicant is still pursuing an OCP and zoning amendment and has been in communication with MoTI to gain approval as per S 52 of the Transpiration Act (see Attachment #4).

IMPACT ANALYSIS:**CONTEXT:**

This area is a mix of residential, with some industrial and commercial uses nearby. This proposal does meet the requirements for considering temporary uses within the West Peace OCP. A building permit would be required for any new construction on the subject property and may be limited by the maximum accessory building floor area as stipulated with the PRRD Zoning Bylaw No. 1343, 2001. If the Temporary Use Permit is approved, the applicant may wish to continue the storage facility as a long term business use after the stipulated timeframe of the TUP, therefore an OCP and Zoning amendment is still being actively pursued. If the OCP and zoning amendment is adopted the Storage business would be considered a primary use.

AGRICULTURE:

As this proposal is not within the ALR, it should not impact the limited agricultural lands south of the property in the valley.

POPULATION & TRAFFIC:

The proposal would not increase the local permanent population as no residences are proposed. However, traffic to and from the site would be expected to increase seasonally when users of the storage facility would pick up and drop off their items.

COMMENTS RECEIVED FROM MUNICIPALITIES AND PROVINCIAL AGENCIES

DAWSON CREEK: The City of Dawson Creek's interests are unaffected by this application.

FORT. ST. JOHN: Interests are unaffected.

CHETWYND: Please note that Council considered PRRD File No. 18-288 at its December 10, 2018 Regular Council meeting and has no objections to this project. Thank you.

MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE:**November 26, 2018**

The Ministry of Transportation and Infrastructure (MoTI) has received and reviewed your referral dated November 21, 2018 for a Temporary Use Permit (TUP) for the development of a ±652 sq.m (7,020 ft²) building within Lot 1, District lot 2097, PRD, Plan PGP43510. The Ministry of Transportation and Infrastructure has received and reviewed the proposal and has no objections. It should be noted that all conditions within the pending restrictive covenant (PRD file 180-2017), pertaining to access and land use, apply.

Thank you for the opportunity to comment.

February 14, 2019

The Ministry of Transportation and Infrastructure (Ministry) has received and reviewed your referral dated November 21, 2018 for a Temporary Use Permit (TUP) located at PID: 024-589-543, L 1 DL 2097 PEACE RIVER PL PGP43510, for the development and operation of a commercial storage facility for the following but not limited to: recreational vehicles, all-terrain vehicles, farm equipment, furniture, household items.

The Ministry originally responded to this referral on November 26, 2018 stating objections at that time. Since our original response, the proponent has provided additional information that has satisfied our concerns at this time. This letter cancels and replaces the letter dated November 26, 2018. The Ministry is in support of the proposal however, the following conditions must be met:

1. The subject lot fronts on a Controlled Access (CA) Highway. For protection of the highway corridor and the safety of the travelling public, private accesses are permitted only at the discretion of the ministry. CA Highways carry stringent requirements for access, with a preference for alternate access. No direct access to Highway 29N is supported. All access is to be via the side road network (Norris Road).
2. A commercial access permit is required for the connection to Norris Road. The developer is to apply online for an 'Access, Commercial' permit to the Ministry of Transportation and Infrastructure prior to final TUP approval. Application and information can be found at:
3. <http://www.th.gov.bc.ca/permits/Highway%20Access%20Permits.asp>
4. The permission granted is temporary and shall expire 18 months from date the TUP is issued.
5. Permission is granted for works described in Appendix A.
6. Should the project as proposed generate more than 50 trips per day, a Traffic Impact Study may be required at the Ministry's discretion.

Thank you for the opportunity to comment.

(see attached letter and appendix)

APRIL 18, 2019

Further phone conversations with MoTi and PRRD staff has enabled the possibility of moving forward with the TUP and the continued option of an OCP and zoning amendment. These continued discussions initiated a response from MoTi, which is highlighted below:

Question #1: What would MoTi require or look for to consider signing the Zoning Bylaw under S. 52 of the Transportation act?

- Yes, if no complaints or safety issues arise from the TUP, the Ministry would be in support of the rezoning without the need for TIS or covenant.

Question #2: What are the monitoring parameters that Moti is requiring the applicant to follow to track traffic flow through the property as you stipulated in Point 6 in the February 14, 2019 referral response from MoTi

- No additional tracking or counting is required than what the applicant would do for his own business purposes. If a complaint or safety issue arise from the TUP and a TIS is requested at the time of rezoning, it would be completed by a professional traffic engineer who would be able to supply the warranted information.

NORTHERN HEALTH: No objections to the bylaw, subject to general conditions from the Public Health Act [SBC 2008] and Drinking Water Protection Act [SBC 2001] *(see attached referral response letter).*

ALTERNATIVE OPTIONS:

1. That the Regional Board authorize the issuance of Temporary Use Permit No. 18-288 for Lot 1, District Lot 2097 PRD Plan PGP43510, for a period of a **three years** ending May 30, 2022 to develop a ±652 sq. m (7,020 sq. ft) building for the operation of a commercial storage facility; further, that issuance of Temporary Use Permit No. 18-288 be withheld pending receipt of security in the amount of \$5,500 and confirmation that the applicant has applied for and received a Commercial Access Permit from the Ministry of Transportation and Infrastructure.
2. That the Regional Board refuse the authorization of Temporary Use Permit No. 18-288 for Lot 1, District Lot 2097 PRD Plan PGP43510 to develop a ±652 sq. m (7,020 sq. ft) building for the operation of a commercial storage facility
3. That the Regional Board provide further direction.

STRATEGIC PLAN RELEVANCE:**FINANCIAL CONSIDERATION(S):**

At the December 14, 2018 board meeting, the Board resolved *“That a security deposit to guarantee site remediation and/or the completion of any terms and conditions imposed by the terms of a Temporary Use Permit (TUP), be required for all TUP applications”*.

In response to the staff request for a cost estimate for remediation of the site, Vertical Building solutions provided an estimate of \$5,500 for building dismantling.

COMMUNICATIONS CONSIDERATION(S):**OTHER CONSIDERATION(S):****Attachments:**

1. Maps
2. Application
3. Public Notice
4. Director Referral Response
5. Email correspondence from applicant and MoTI
6. Referral responses from agencies/local governments
7. Building removal estimate letter from Vertical Building Solutions
8. Temporary Use Permit

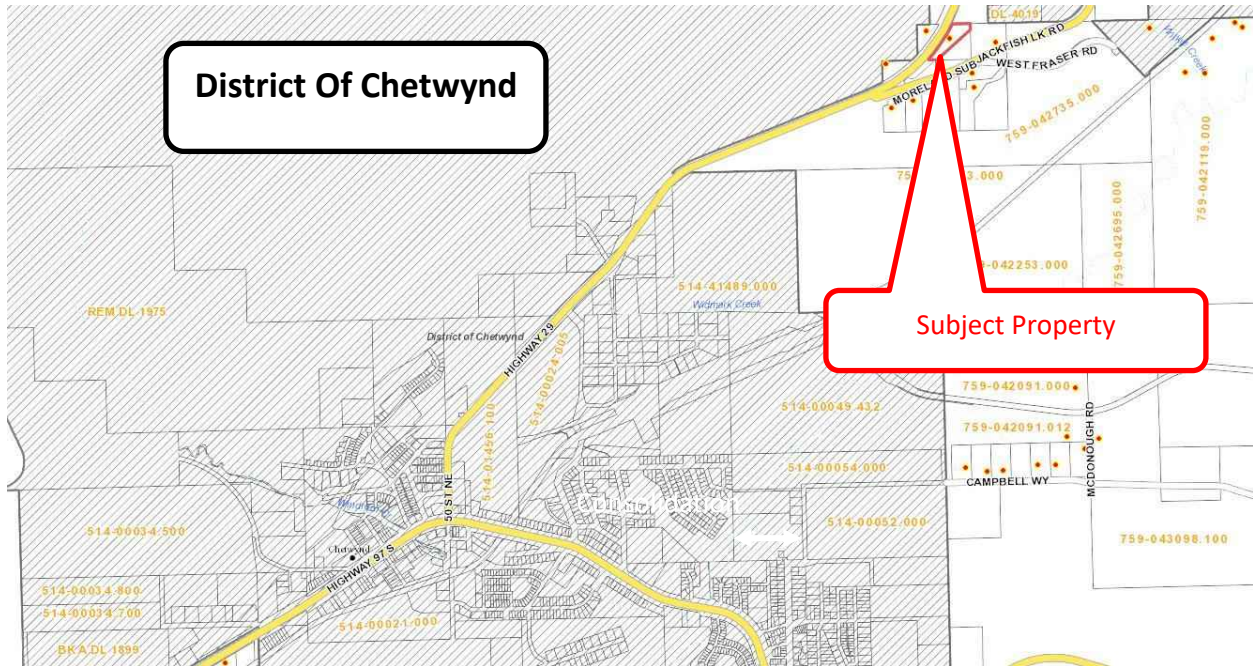


TEMPORARY USE PERMIT REPORT

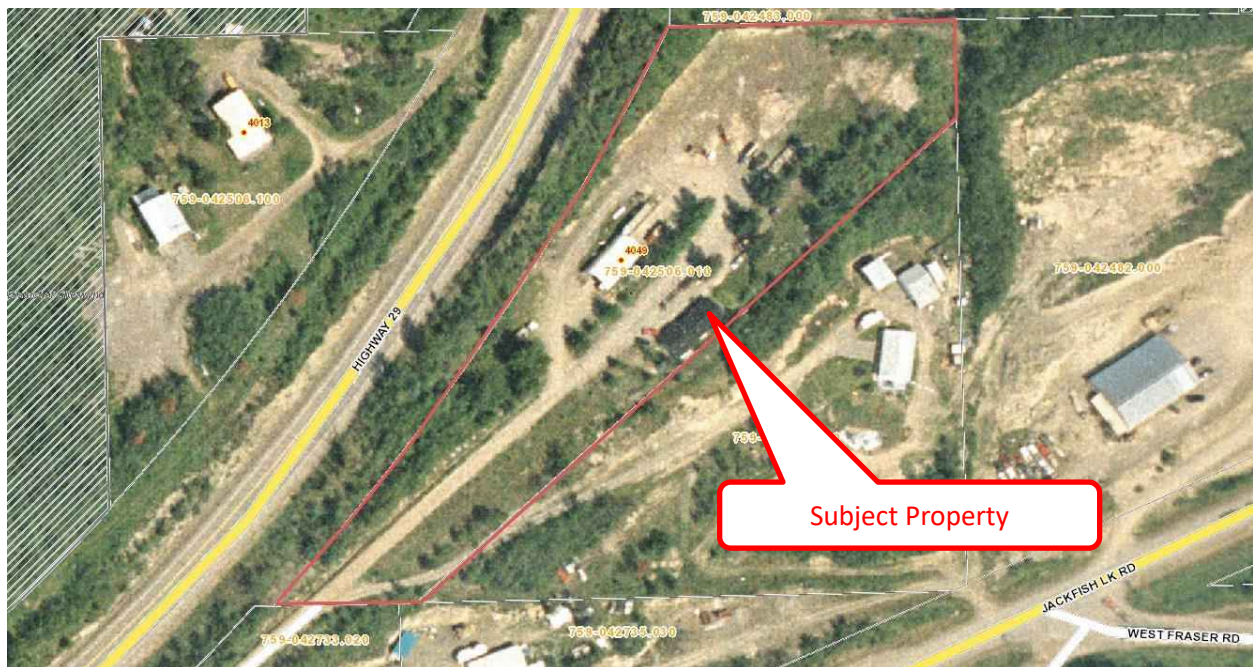
MAPS

FILE NO. 18-288 (BORTON)

Context Photo



Air Photo



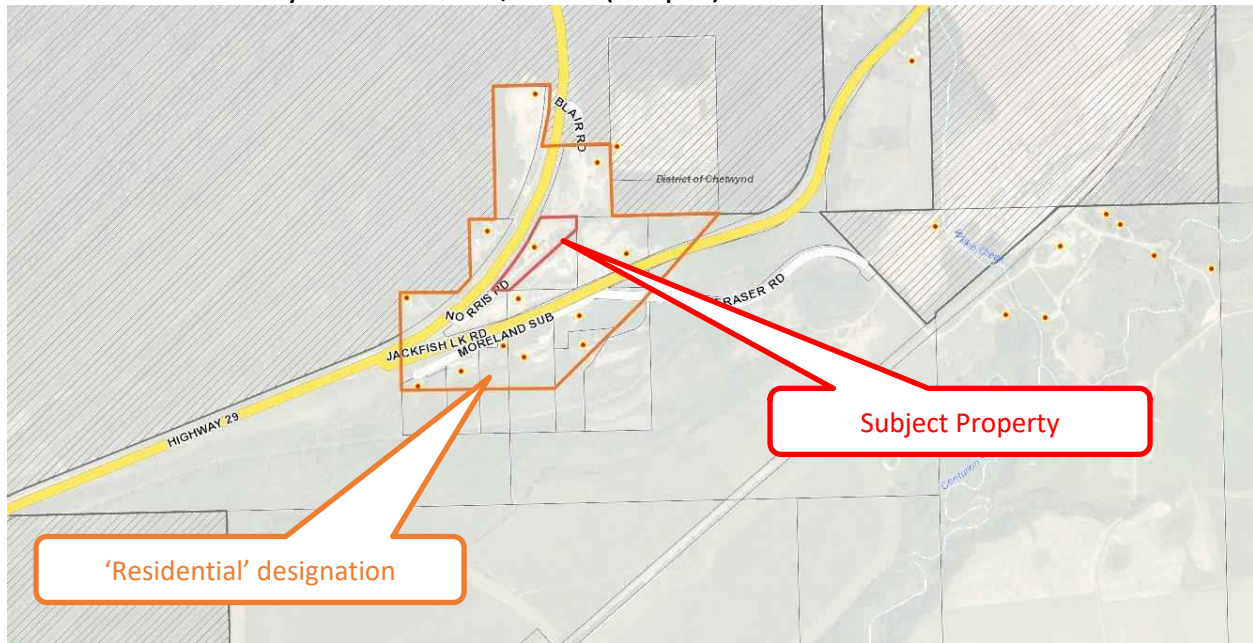
May 30, 2019



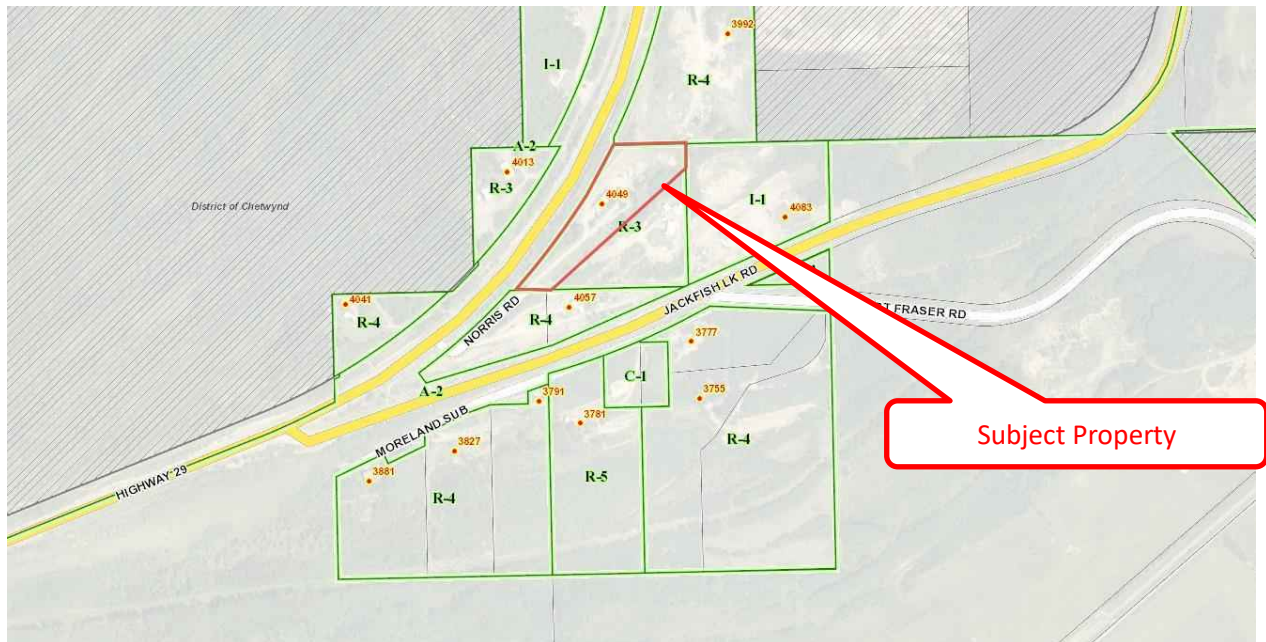
MAPS

FILE NO. 18-288 (Borton)

West Peace OCP Bylaw No. 1086, 1997 (Map 7) Residential



PRRD Zoning Bylaw No. 1343, 2001 (Schedule C Map 5) R-3 (Residential 3 Zone)

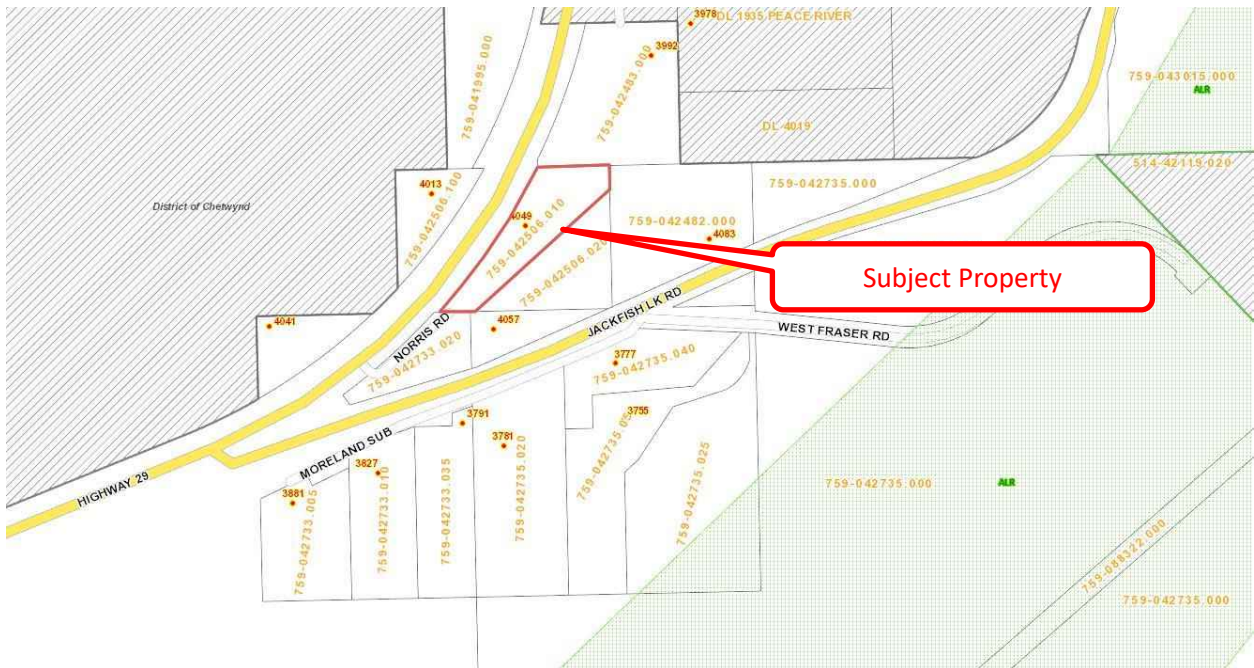




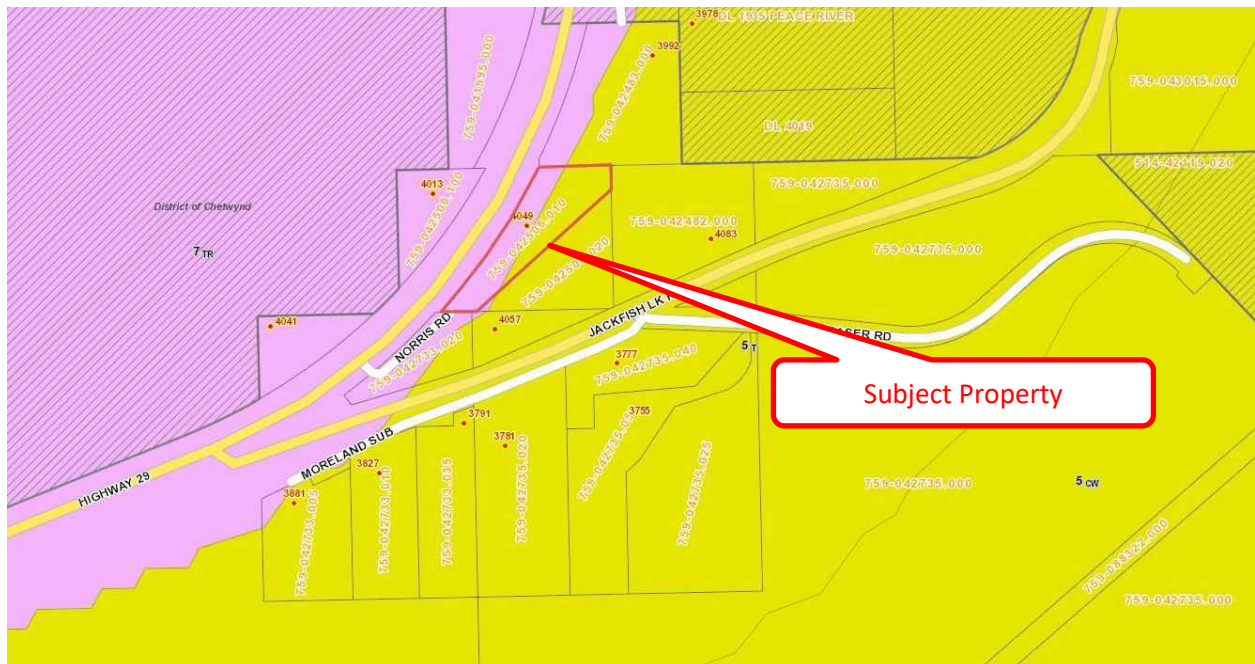
MAPS

FILE No. 18-288 (Borton)

Agricultural Land Reserve



Soil Classification





PEACE RIVER REGIONAL DISTRICT

TUP 18-088

DAWSON CREEK 1981 Alaska Avenue (Box 810), Dawson Creek, BC (T) 250-784-3200.. (F) 250-784-3201
 FORT ST. JOHN 9505 100TH Street, Fort St. John, BC V1J 4N4 (T) 250-785-8084 (F) 250-785-1125
 [Toll Free: 1-800-670-7773]

Receipt # _____

Application for Development

1. TYPE OF APPLICATION

FEE

- | | |
|--|-------------|
| ☐ Official Community Plan Bylaw Amendment | \$ 1,000.00 |
| ☐ Zoning Bylaw Amendment | 650.00 |
| ☐ Official Community Plan / Zoning Bylaw Amendment combined | 1,050.00 |
| ☒ Temporary Use Permit | 350.00 |
| ☐ Development Permit | 165.00 |
| ☐ Development Variance Permit | 165.00 |
| ☐ Sign requirement | 150.00 |

In regard to applications for:

- i) an official community plan and/or zoning bylaw amendment;
 ii) temporary use permit;

Sign provided by the PRRD and sign posted pursuant to Section 8 of Bylaw No. 2165, 2016, **attached**.

Currently have
sign from
previous
Application
K.C

2. PLEASE PRINT

Property Owner's Name Pat & Sheri Borton	Authorized Agent of Owner (if applicable)
Address of Owner 5401 Hillside Ave	Address of Agent
City/Town/Village Chetwynd BC	City/Town/Village
Postal Code V0C 1J0	Postal Code
Telephone Number: [REDACTED]	Telephone Number:
Fax Number:	Fax Number:
E-mail: [REDACTED]	E-mail:

3. PROPERTY DESCRIPTION

Full legal description of each property under application	Area of each lot
L1 - DL 2097 Peace River LP PGP 43510	1.72 ha./acres
PID 024 - 589543	ha./acres
Roll 759 - 042506.010	ha./acres
4049 Norris Rd.	TOTAL AREA ha./acres

Notice of collection of personal information:

Personal information on this form is collected for the purpose of processing this application. The personal information is collected under the authority of the Local Government Act and the bylaws of the PRRD. Documentation/Information submitted in support of this application can be made available for public inspection pursuant to the Freedom of Information and Protection of Privacy Act.

4. Civic Address or location of property: 4049 Noeris Rd

5. PARTICULARS OF PROPOSED AMENDMENT

Please check the box(es) that apply to your proposal:

☐ Official Community Plan (OCP) Bylaw amendment:

Existing OCP designation: _____

Proposed OCP designation: _____

Text amendment: _____

☐ Zoning Bylaw amendment:

Existing zone: _____

Proposed zone: _____

Text amendment: _____

☐ Development Variance Permit – describe proposed variance request:

☒ Temporary Use Permit – describe proposed use:

cold storage for public use (storage)

☐ Development Permit: Bylaw No. _____ Section No. _____

6. Describe the existing use and buildings on the subject property:

Home & Shop

7. Describe the existing land use and buildings on all lots adjacent to and surrounding the subject property:

(a) North mobile home + Junk yard

(b) East house with several out buildings

(c) South house with several out buildings

(d) West Hiway 29, logging repair shop.

8. Describe the proposed development of the subject property. Attach a separate sheet if necessary:

Shop 108' x 65'

Cold storage for public storage use

9. Reasons and comments in support of the application. Attach a separate sheet if necessary:

Trying to get L-industrial zoning. File # 17-180
Shop is ordered, will be delivered mid Nov. 2018

10. Describe the means of sewage disposal for the development:

Existing septic Field, office has holding tank,
pump & haul.

11. Describe the means of water supply for the development:

Existing Cistern

THE FOLLOWING INFORMATION IS REQUIRED. FAILURE TO PROVIDE MAY DELAY YOUR APPLICATION.

12. Proof of ownership of the subject property or properties. (For example: Certificate of State of Title, BC Land Title Office Property Title Search or recent Property Tax Notice.)
13. A Sketch Plan of the subject property or properties, showing:
- (a) the legal boundaries and dimensions of the subject property;
 - (b) boundaries, dimensions and area of any proposed lots (if subdivision is being proposed);
 - (c) the location of existing buildings and structures on the subject property, with distances to property lines;
 - (d) the location of any proposed buildings, structures, or additions thereto, with distances to property lines;
 - (e) the location of any existing sewage disposal systems;
 - (f) the location of any existing or proposed water source.

ADDITIONAL OR MORE DETAILED INFORMATION MAY BE REQUESTED BY THE PEACE RIVER REGIONAL DISTRICT FOLLOWING REVIEW OF YOUR APPLICATION.

If it is necessary for the property boundaries and the location of buildings and structures to be more accurately defined, a plan prepared by a British Columbia Land Surveyor may be required.

15. I / We the undersigned hereby declare that the information provided in this application is complete and is, to the best of my / our knowledge, a true statement of the facts related to this application.

Signature of Owner



Signature of Owner

Date signed

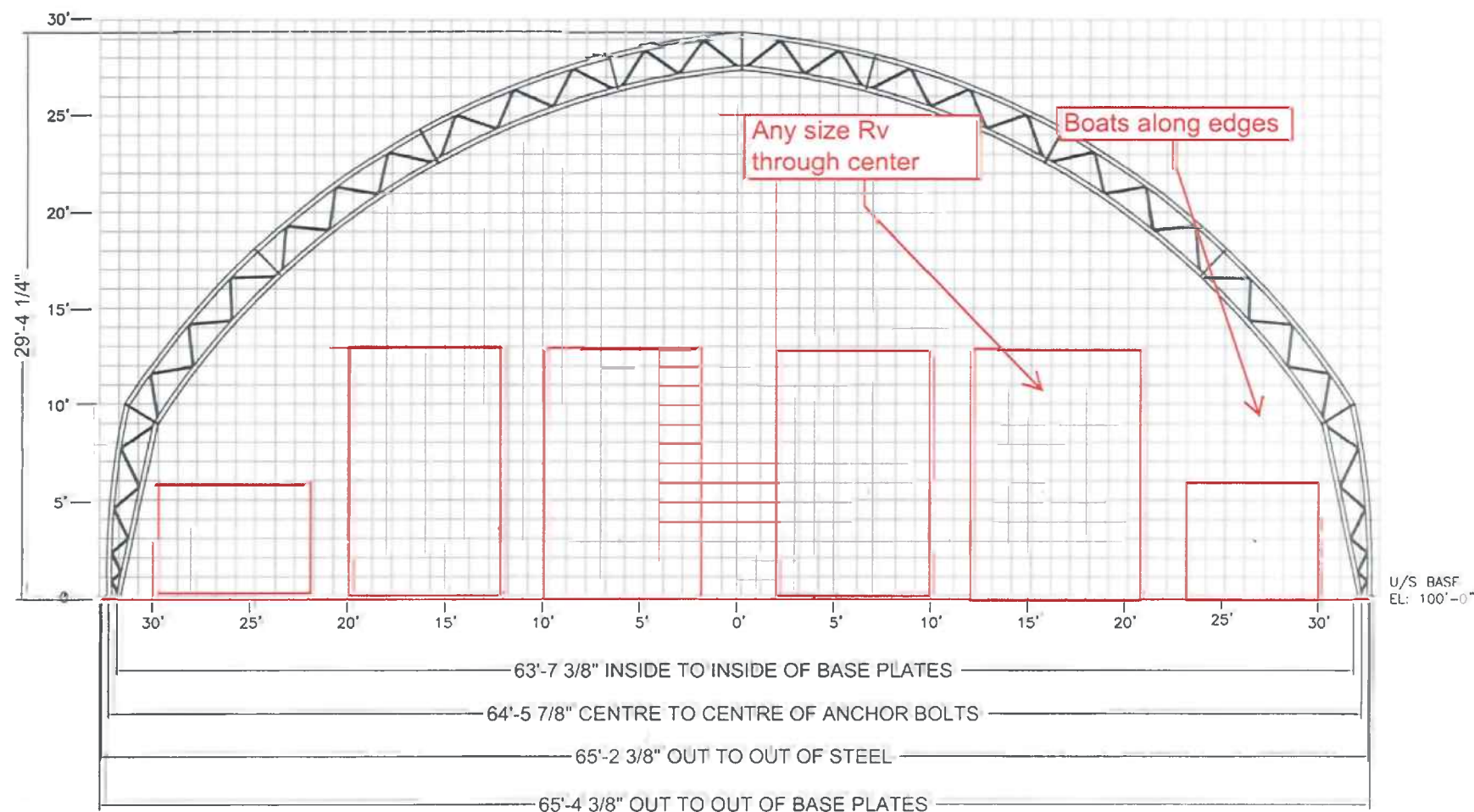
Nov. 17 / 2018
Date signed

16. **AGENT'S AUTHORIZATION**

If you have an agent act on your behalf in submission of this application, the following authorization **MUST** be signed by **ALL** property owners.

I / We authorize	and	hereby
(name) application.	to act on my/our behalf regarding this	
Agent address:		
Telephone:	Fax:	Email:
Signature of Owner:	Date:	
Signature of Owner:	Date:	

ATLAS 24 - 65' W



BRITESPAN
BUILDING SYSTEMS INC.

37651 Amberley Road
Lucknow, ON, Canada N0G 2H0
PH: 1-519-528-2922
FAX: 1-519-528-2890

DEALER

CUSTOMER:

PROJECT:

DETAILER:	DWG REV	REVISED BY: DESCRIPTION	DATE
LS	1	DS	24 MAY 11
CHECKER:			
LL			

THIS DRAWING IS PROPERTY OF BRITESPAN ANY REPRODUCTION IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF BRITESPAN IS PROHIBITED. THIS DRAWING IS NOT TO BE USED UNLESS OTHERWISE NOTED.

WIDTH-STEEL-FAB-HSS-HSSDROP
65

FILE NO:
END-001

TAB TITLE:	DRAWING TITLE:	PROJECT ID:	SO/ORDER ID:	DRAWING:	REV:
019	ATLAS 65 - 320 GM PROFILE				1



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Map

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description



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address
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number



What's here?



Point

Find Data



May 30, 2019

CERTIFICATE OF DESIGN AND MANUFACTURING CONFORMANCE

THIS CERTIFICATE IS TO AFFIRM THAT ALL COMPONENTS OF THE STEEL BUILDING SYSTEM DESCRIBED BELOW, TO BE SUPPLIED BY THE NAMED MANUFACTURER CERTIFIED IN ACCORDANCE WITH CSA A660, HAVE BEEN OR WILL BE DESIGNED AND FABRICATED IN ACCORDANCE WITH THE FOLLOWING STANDARDS TO CARRY THE LOADS AND LOAD COMBINATIONS SPECIFIED.

1. DESCRIPTION

MANUFACTURER'S NAME AND ADDRESS: BRITESPAN BUILDING SYSTEMS INC.
MANUFACTURER'S CERTIFICATE NO. UNDER CSA A660: OLYMPO
CUSTOMER ORDER NUMBER: BRITESPAN SO# 6336-01
BUILDING TYPE AND SIZE: ATLAS 24 - 65' WIDE X 108' LONG, 12' TRUSS SPACING
INTENDED USE AND OCCUPANCY: EQUIPMENT STORAGE [COMMERCIAL]
IMPORTANCE CATEGORY [NBCC, SENTENCE 4.1.2.1(3)]: 0.8, LOW
SITE LOCATION: 4049 NORRIS ROAD, CHETWYND, BC. V0C 1J0
APPLICABLE BUILDING CODE: BCBC 2012 & NBCC 2010 AS OUTLINED BELOW
BUILDER'S NAME AND ADDRESS: VERTICAL BUILDING SOLUTIONS INC.
BOX 366, 9301 - 125 STREET
GRANDE PRAIRIE, AB. T8V 3A5
OWNER'S NAME AND ADDRESS: HART ENTERPRISE LTD.
PAT BORTON
4049 NORRIS ROAD
CHETWYND, BC. V0C 1J0

2. DESIGN STANDARDS

NATIONAL BUILDING CODE OF CANADA, 2010, PART 4: STRUCTURAL DESIGN
CSA S16-09, DESIGN OF STEEL STRUCTURES
CSA S136-07, NORTH AMERICAN SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS

3. MANUFACTURING STANDARDS

- (A) FABRICATION HAS BEEN OR WILL BE IN ACCORDANCE WITH CSA S16 AND CSA S136, AS APPLICABLE.
(B) WELDING HAS BEEN OR WILL BE PERFORMED IN ACCORDANCE WITH CSA W59 AND CSA S1 36, AS APPLICABLE.
(C) THE MANUFACTURER HAS BEEN CERTIFIED IN ACCORDANCE WITH CSA W47.1, FOR DIVISION 1 OR 2, AND/OR CSA W55.3, IF APPLICABLE.
(D) WELDERS HAVE BEEN QUALIFIED IN ACCORDANCE WITH CSA W47.1.
(E) FABRIC COMPLYING TO CSA S-367-12.

4. PURLIN STABILITY

PURLIN BRACES ARE PROVIDED IN ACCORDANCE WITH CSA S136, CLAUSE D3 AND APPENDIX B, CLAUSE D3.2.3. IN PARTICULAR, FOR A STANDING SEAM ROOF SUPPORTED ON MOVABLE CLIPS, BRACES PROVIDING LATERAL SUPPORT TO BOTH TOP AND BOTTOM PURLIN FLANGES HAVE BEEN OR WILL BE PROVIDED. THE NUMBER OF ROWS IS DETERMINED BY ANALYSIS BUT IN NO CASE IS IT LESS THAN 1 FOR SPANS UP TO 7 M INCLUSIVE OR LESS THAN 2 FOR SPANS GREATER THAN 7 M.

5. LOADS

- (A) SNOW, ICE, AND RAIN LOAD
1-50 YEAR GROUND SNOW LOAD, S_s = 2.4 (kPa)
1-50 YEAR ASSOCIATED RAIN LOAD, S_r = 0.2 (kPa)
IMPORTANCE FACTOR, I_s = 0.8
BASIC ROOF SNOW LOAD FACTOR: C_b = 0.8; C_a = 1 (CASE 2 FOR UNBALANCED LOADING)
ROOF SNOW LOAD, S = VARIES DUE TO PROFILE.
DRIFT LOAD CONSIDERED (NBCC, SUB-SECTION 4.1.6.2.8). REFER TO DRAWING OF SPECIFIC BUILDING.
SPECIFIED RAIN LOAD (NBCC, CLAUSE 4.1.6.4)

(B) FULL AND PARTIAL SNOW LOAD

- (I) APPLIED ON ANY ONE AND ANY TWO ADJACENT SPANS OF CONTINUOUS PURLINS
(II) APPLIED ON ANY ONE AND ANY TWO ADJACENT SPANS OF MODULAR RIGID FRAMES WITH CONTINUOUS ROOF BEAMS
(III) APPLIED AS DESCRIBED FOR THE BUILDING GEOMETRY IN NBCC, PART 4, AND IN THE USER'S GUIDE- NBCC 2010: STRUCTURAL COMMENTARIES (PART 4), COMMENTARY G: SNOW LOADS

(C) WIND LOAD

- 1-50 YEAR REFERENCE VELOCITY PRESSURE: 0.4 (kPa)
IMPORTANCE FACTOR, I_w = 0.8
EXPOSURE, C_e = 1.00
ENCLOSURE= ENCLOSED

(D) WIND LOAD APPLICATION

- (I) APPLIED IN ACCORDANCE WITH NBCC, PART 4, SECTION 4.1.7
(II) PRESSURE COEFFICIENTS IN ACCORDANCE WITH USER'S GUIDE- NBCC 2010: STRUCTURAL COMMENTARIES (PART 4), COMMENTARY 1: WIND LOADS, FIGURES 13 THROUGH 112
(III) BUILDING INTERNAL PRESSURE CATEGORY IN ACCORDANCE WITH USER'S GUIDE- NBCC 2010: STRUCTURAL COMMENTARIES (PART 4), COMMENTARY 1: WIND LOADS

- (E) CRANE LOADS (WHERE APPLICABLE) — N/A
(F) MEZZANINE LIVE LOAD — N/A
(G) SEISMIC LOAD — N/A
(H) OTHER LIVE LOADS (SPECIFY) — 0.8 kPa (MINIMUM ROOF LIVE LOAD)
(I) DEAD LOADS

DEAD LOAD OF BUILDING COMPONENTS IS INCORPORATED IN THE DESIGN AS SELF-WEIGHT OF THE BUILDING
COLLATERAL LOAD (MECHANICAL, ELECTRICAL, CEILING, SPRINKLERS, ETC.) = 0.012kPa

(J) LOAD COMBINATIONS

APPLIED IN ACCORDANCE WITH NBCC, PART 4, SECTION 4.1: YES

6. GENERAL REVIEW DURING CONSTRUCTION

THE MANUFACTURER DOES NOT PROVIDE GENERAL REVIEW DURING CONSTRUCTION FOR REGULATORY PURPOSES.

7. CERTIFICATION BY ENGINEER

I, MARTIN NICOLAU, AN ENGINEER REGISTERED OR LICENSED TO PRACTICE IN THE PROVINCE OR TERRITORY OF BRITISH COLUMBIA, HEREBY CERTIFY THAT I HAVE REVIEWED THE DESIGN AND MANUFACTURING PROCESS FOR THE STEEL BUILDING SYSTEM DESCRIBED. I CERTIFY THAT THE FOREGOING STATEMENTS, INITIALED BY ME, ARE TRUE.

 TF: 800-407-5846 www.britespanbuildings.com	REV:	DESCRIPTION:	DATE:	DEALER: VERTICAL BUILDING SOLUTIONS INC. BOX 366, 9301 - 125 STREET GRANDE PRAIRIE, AB. T8V 3A5	CUSTOMER: HART ENTERPRISE LTD. 4049 NORRIS ROAD CHETWYND, BC. V0C 1J0	
	1	ISSUED FOR CONSTRUCTION	11.OCT.2018			
THIS DRAWING IS PROPERTY OF BRITESPAN BUILDING SYSTEMS INC.. ANY REPRODUCTION IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF BRITESPAN BUILDING SYSTEMS INC. IS PROHIBITED. THIS DRAWING IS NOT TO SCALE UNLESS OTHERWISE NOTED.	DRAWN BY: TWF			PROJECT: ATLAS 24 65'L10 x 108' - 420 GM 12' OC	ORDER ID: SO# 6336-01 WIDTH-STEEL-FAB-HSS-HSSDROP: 65-420-320-16-2.5	DRAWING TITLE: CERT. OF CONFORMANCE SHEET NO.: CT-1 PAGE NO.: 001 /14
	CHECKED BY: CJM					

This project has been designed and fabricated in accordance with the following:

1. DESCRIPTION

Customer's Name and Address: HART ENTERPRISE LTD.
PAT BORTON
4049 NORRIS ROAD
CHETWYND, BC. V0C 1J0

Site Location: HART ENTERPRISE LTD.
4049 NORRIS ROAD
CHETWYND, BC. V0C 1J0

Building Type: ATLAS 24
Building Size: 65' X 108' @ 12' O.C. (19.812m X 32.918m @ 3.658m O.C.)
Applicable Building Code: NBCC 2010 & BCBC 2012
Intended Use and Occupancy: EQUIPMENT STORAGE
Construction Type: COMMERCIAL
Fabric Type: RUBBX-6 (FR) 400

2. DESIGN CRITERIA

Importance Category: 0.8 Low
Occupancy Classification: F3

A) DEAD LOADS

I) Self-weight of building components
II) Collateral (hanging) load, not to exceed 0.25 psf (0.012 kPa) as an allowance for mechanical, electrical ceiling, sprinklers, etc., or any combination thereof.

B) LIVE LOADS

Live loads determined in accordance with section 4.1.5 of NBCC 2010
Minimum roof live load 16.72 psf (0.8 kPa)

C) SNOW LOADS

Snow loads determined in accordance with section 4.1.6 of NBCC 2010 & Commentary G of NBCC 2010
Structural Commentaries
Importance Factor, Is 0.8
Ground Snow Load, Ss 50.1 psf (2.4 kPa)
Associated Rain Load, Sr 4.2 psf (0.2 kPa)
Building Exposure EXPOSED (Cw = 0.75)

D) WIND LOADS

Wind Loads determined in accordance with section 4.1.7 of NBCC 2010 & Commentary I of NBCC 2010
Structural Commentaries
Importance Factors, Iw 0.8
Reference Wind Pressure, q (1/50) 8.4 psf (0.4 kPa)
Exposure Factor, Ce 1.00
Building Enclosure ENCLOSED (ALL OPENINGS MUST BE RATED FOR SITE LOADS)

E) LOAD COMBINATIONS

Load combinations determined in accordance with section 4.1.3 of NBCC & Commentary A of the NBCC 2010 Structural Commentaries

3. BASE REACTIONS (UNFACTORED)

THE MAXIMUM FORCES AT THE FOUNDATION HINGE SUPPORTS, DUE TO THE LOADS LISTED ABOVE, ARE AS FOLLOWS:

4. MATERIAL SPECIFICATIONS

(a) Structural Steel

All steel shall be designed, fabricated & erected in conformance to CAN/CSA-S16-09 "Limit states design of steel structures."
Structural steel conforms to:
Plate ASTM A572 GR 42 / 50 & CSA G40.20 300W / 350W
Rolled & HSS sections ASTM A500 GRADE C / CSA G40.21 350W
Purlins ASTM A500 GRADE C

COMPONENTS:

STD. Truss: CH: 2.875" (73.0mm) DIA. x 10GA. wall WB: 1.25" (31.8mm) DIA. x 14GA.
STR. Truss: CH: 2.875" (73.0mm) DIA. x 7GA. (Inner) & 10GA. wall WB: 1.25" (31.8mm) DIA. x 14GA.
Leg: CH: 2.875" (73.0mm) DIA. x 7GA. (Inner) & 10GA. wall WB: 1.25" (31.8mm) DIA. x 14GA.
Purlins: 2.875" (73.0mm) DIA. x 14GA.

Structural steel round and square tubing, hot or cold formed and induction welded. Mill certs or test results are available from manufacturer to confirm the physical characteristics and composition of the supplied steel.

(b) Corrosion Protection

Product	Galvanizing Standard	Type	Coating Weight	Coating Thickness
Steel tube	CAN/CSA-G124	in-line	0.6 oz/ft²	1.0 mils *
Steel tube, plate & HSS	ASTM A123	hot dip	2.2 oz/ft²	3.4 mils
Cables	Federal spec. RR-W410D			

* Chromate conversion coating applied over the galvanized surface coat demonstrating the ability to withstand a minimum of 1000 hours of accelerated salt fog testing to the 5% red rust condition in accordance with ASTM B117. The repair to the truss at weld locations is completed using sprayed zinc (metallizing) in accordance with ASTM A 780 - 01. Surfaces to be reconditioned shall be blasted clean, dry and free of oil, grease, corrosion, flux residue and weld spatter in accordance with SSPC-SP5/NACE No. 1 to ensure that a smooth reconditioned coating can be completed. Surface preparation shall be extended into the surrounding undamaged galvanized coating. Field touch ups to damaged galvanizing protection is completed using 99.9% zinc rich spray paint.

(c) Bolts

Anchor bolt lengths and load transfer to the foundation are to be determined by others. Anchor bolt diameters are determined in accordance with CAN/CSA-S16-09 using FY = 36 Ksi (248 MPa). Anchor bolt projections (based on no grout) are Min. 2" (50.8mm) and Max. 3 1/2" (88.9mm). All structural bolt diameters less than 1" (25.4mm) conform to SAE J429 GR 5, be plated / galvanized or JS500 coated finish. All structural nut diameters less than 1" (25.4mm) conform to SAE J995 GR 8, be plated / galvanized or JS500 coated finish. All bolts larger than 1" (25.4mm) dia conform to ASTM A325. Bolts in connections not subject to tension loads, or where loosening due to vibration or load fluctuations are not design considerations need only be snug tightened to a tightness that exists when all plies in a joint are in firm contact. Bolts subject to tension loads require pre tensioning to minimum values shown in following table.

TABLE 4.1

BOLT LENGTH (MEASURED FROM UNDERSIDE OF THE HEAD TO THE EXTREME END OF THE BOLT) UP TO AND INCLUDING 4 BOLT DIAMETERS OVER 4 DIAMETERS AND NOT EXCEEDING 6 DIAMETERS OR 8 INCHES EXCEEDING 8 DIAMETERS OR 8 INCHES	TURN
	1/3
	1/2
	2/3

NOTE: NUT ROTATION IS ROTATION RELATIVE TO A BOLT REGARDLESS WHETHER THE NUT OR BOLT IS TURNED.
TOLERANCE ON ROTATION: 30° OR UNDER

(d) CABLES

DIAGONAL STEEL CABLES AS PER FEDERAL SPEC. RR-W4100		
DIAMETER	APPROX. WEIGHT	BREAK STRENGTH
INCHES	PER 1000 FT. (LBS)	TONS (tn)
3/16 (4.8mm)	65 (29.5 kg)	2.1 (1905.1 kg)
5/16 (7.9mm)	172 (78.0 kg)	4.9 (4485.1 kg)
1/2 (12.7mm)	521 (236.3 kg)	9.0 (8164.6 kg)

SHACKLES, TURNBUCKLES AND PINS TO BE GRADE 100-110 STEEL

(e) Membrane Fabric

All membrane will meet at a minimum the following:

Physical	Properties	Description
WEAVE	WOVEN CLEAR HDPE SCRIM	HIGH DENSITY POLYETHYLENE
COATING	4 mil (95 g/m² /side) LDPE	LOW DENSITY POLYETHYLENE
WEIGHT	12 oz/ yd² (407 g/m²) +/-5%	
THICKNESS	23 mil (0.59 mm)	ASTM D1777
GRAB TENSILE	WARP 370 lb 1664 N WEFT 345 lb 1532 N	ASTM D5034
STRIP TENSILE (N/5cm)	WARP 250 lb/in (2220) WEFT 235 lb/in (2086)	ASTM D5035
TONGUE TEAR	WARP 110 lb 488 N WEFT 100 lb 444 N	ASTM D2261
TRAPEZOIDAL TEAR	WARP 100 lb 444 N WEFT 90 lb 400 N	ASTM D4533
MULLEN BURST	650 psi (4428 kPa)	ASTM D3786
LOW TEMPERATURE BEND	PASS -76°F/-60°C	ASTM D2136
FR PERFORMANCE	RUBBX-6 400	ASTM E84-16
	RUBBX-6 (FR) 400	NFPA 701-2015, NFPA-701 (1989), CAN/ULC S109-14, ASTM E84-16

5. BUILDING ERECTION

The builder and/ or erector is solely responsible for accurate, good quality workmanship in erecting this building in conformance with these drawings, details referenced in these drawings and industry standards as per CSA S16-09, pertaining to proper erection including the proper use of temporary bracing. BRITESPAN Building Systems, Inc. is not responsible for errors, omissions or damages incurred in the erection of the components shown on this drawing, or for the inspection of erected components to determine same. The erector must provide safe working conditions and practices conforming to safety regulations. All lifting devices are to be specifically designed to lift the various components. Slings and spreader bars are to be used to prevent permanent deformation of structural components. This building is not designed to be lifted as an assembled unit. BRITESPAN Building Systems, Inc. is not responsible for losses and/or damage as a result of lifting this building. If, however, it has been determined to lift this building it is the responsibility of the person, firm, or company contracted to lift the building to ensure the lift does not damage the building and to determine and finalize all aspects of the lift including all parts/connectors to be added to the building to facilitate the lift. Foundation must be level, square and smooth.

(a) Structural Steel

Assemble frames from truss components, then starting at a braced bay, erect and support frames using temporary bracing as required to ensure stability of the frames. Install purlins and cross bracing. Plumb and square frames in accordance with CAN/CSA-S16 and OSHA 29 CFR PART 1926 - Safety Standard for Steel Erection. Structural frames are considered plumb, level and aligned when the variance does not exceed 1/500. Ensure all purlins remain parallel. Purlins are not designed to carry additional hanging loads. Loads hung from purlins must be reviewed and approved in writing by BRITESPAN Building Systems, Inc. Severe damage to the building and accessories may result from failure to comply with this requirement. Finished floor elevations and underside of base plate is 100'-0" (30.48 m) unless noted. Holes required in HSS columns, headers or purlins for framed openings, door or window post connections to be by the erector. All grade entry framed opening posts to be attached to the foundation.

(b) Membrane Fabric

Membrane covers are not to be pulled onto the frame in high wind conditions. Membrane is to be installed using appropriate procedures and practices as set out in the applicable series installation manual. Exterior fabric will deflect under load; therefore all building accessories (Lighting, HVAC, Sprinklers etc.) must be located beneath the inner chord of the truss. Anything above this must be reviewed and approved in writing by BRITESPAN Building Systems, Inc. Severe damage to the building and accessories may result from failure to comply with this requirement.

(c) Delivery and Storage

BRITESPAN Building Systems, Inc. will not be held responsible for materials which are improperly protected after delivery. Galvanized, aluminum and colored materials are subject to corrosion and discoloration if they are improperly stored. Short term job site storage of components may be tolerated, provided care is taken to keep the materials dry at all times. When trusses are to be stored outdoors, they should be placed at an angle sufficient to promote good drainage. In addition, several inches of clearance must be provided between the lower end and the ground to allow ventilation.

(d) Interior Partition Walls

Field installation of partition walls to the underside of the truss frame member must allow for vertical building deflection. Contact BRITESPAN Building Systems, Inc. for required clearances.

6. MISCELLANEOUS

(a) Purlin braces are an integral part of the truss structural system and should be properly installed prior to installation of membrane roof or endwall panels. Removal or alteration of any bracing without authorization from BRITESPAN Building Systems, Inc. is prohibited.

(b) BRITESPAN Building Systems, Inc. does not provide review during construction without prior COMMITMENT TO REVIEW authorization.

7. CERTIFICATION BY BRITESPAN BUILDING SYSTEMS, INC.

This certification and engineering seal applies only to products designed by BRITESPAN Building Systems, Inc. for the loading conditions designated on these drawings. Concrete, foundations, anchor bolts, components BY OTHERS and erection are NOT the responsibility of BRITESPAN Building Systems, Inc. All doors, windows and roll-up curtains must be designed by others to support the site loading conditions and are relied upon to be closed in the event of high wind.

These drawings including information hereon, remains the property of BRITESPAN Building Systems, Inc. They are provided solely for erecting the building described, and shall not be modified, reproduced or used for any other purpose without prior written approval of BRITESPAN Building Systems, Inc.

*** MAINTENANCE REQUIREMENTS FOR THE STRUCTURE ***

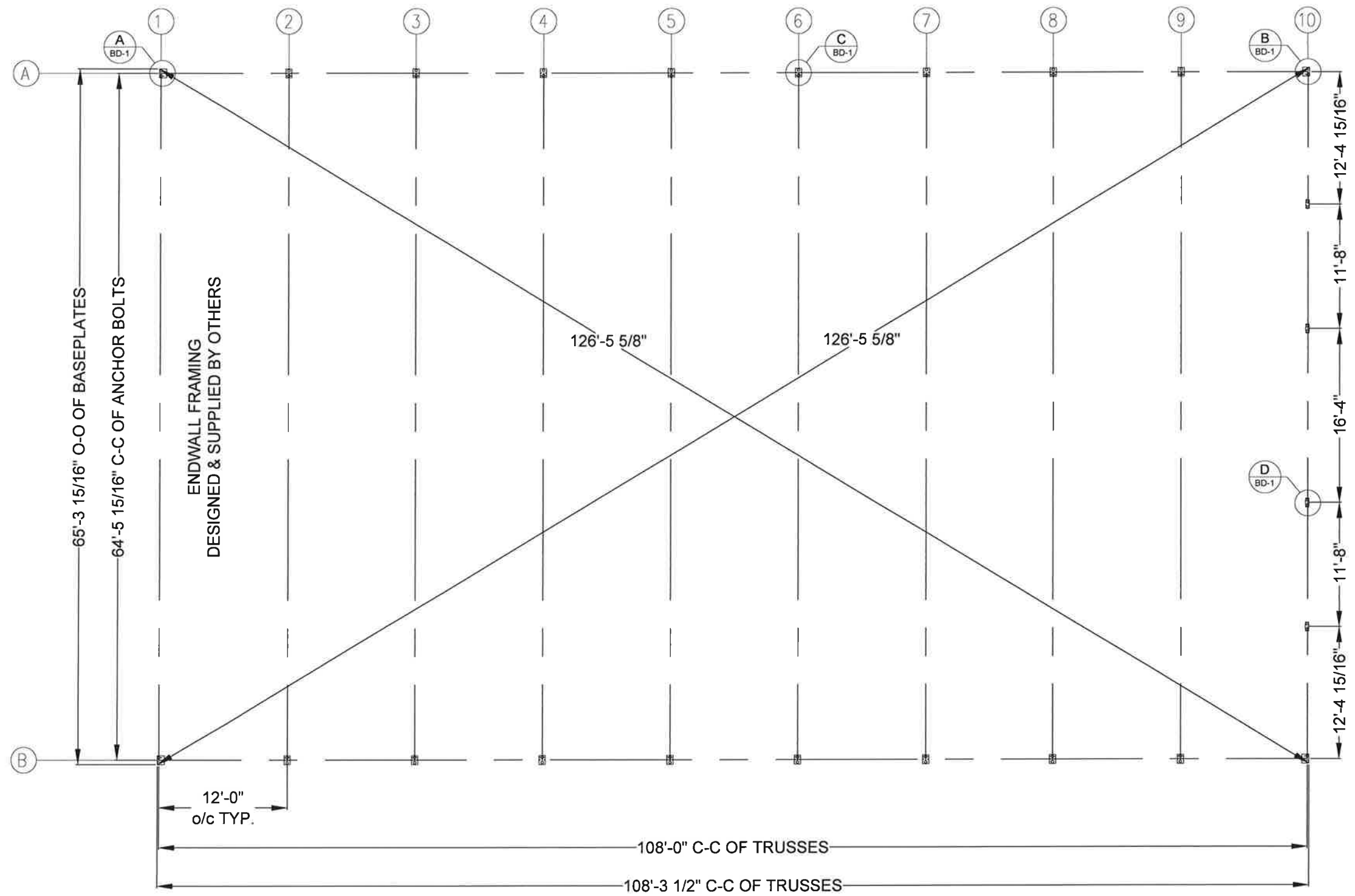
Years 1 - 2 every 12 months - 100% of all cable tensioning inspected and reported to in writing to BRITESPAN and Engineer of structure.
Years 3 - 10 every 24 months - 25% of all cable tensioning (randomly chosen) - where tensioning found not adequate, check all other similar cable tensioning, report in writing to BRITESPAN and Engineer of structure.
Every major wind loading event exceeding 75% of the design wind load - 25% of all cable tensioning (randomly chosen) - where tensioning found not adequate, check all other similar tensioning, report in writing to BRITESPAN and Engineer of structure.

*** NOTE ***

TEMPORARY BRACING / SUPPORTS REQUIRED DURING ERECTION OF BUILDING. BRACING MUST REMAIN IN PLACE UNTIL STRUCTURE AND ALL PERMANENT BRACING IS COMPLETELY INSTALLED.
TEMPORARY BRACING DESIGN AND SUPPLY IS NOT THE RESPONSIBILITY OF BRITESPAN BUILDING SYSTEMS INC.

SIDE A					SIDE B			
HORIZONTAL			VERTICAL		HORIZONTAL		VERTICAL	
LOAD CASE:	X _A (kips)	X _A (kN)	Y _A (kips)	Y _A (kN)	X _B (kips)	X _B (kN)	Y _B (kips)	Y _B (kN)
DEAD	0.25	1.10	0.61	2.71	-0.25	-1.10	0.61	2.71
LIVE	3.74	16.65	6.86	30.50	-3.74	-16.65	6.86	30.50
SNOW BALANCED	5.65	25.12	9.59	42.65	-5.65	-25.12	9.59	42.65
SNOW UNBALANCED	2.26	10.06	2.09	9.30	-2.26	-10.06	6.76	30.07
WIND: PERPENDICULAR	-0.74	-3.28	3.52	15.65	-2.35	-10.46	3.23	14.36
WIND:PARALLEL	-1.06	-4.73	-4.81	-21.41	1.07	4.76	-4.82	-21.44
Note: Negative values of Y reactions indicates uplift forces.								
								
Parallel Wind 0.70 Kpa								

 TF: 800-407-5846 www.britespanbuildings.com		REV:		DESCRIPTION:		DATE:		DEALER: VERTICAL BUILDING SOLUTIONS INC. BOX 366, 9301 - 125 STREET GRANDE PRAIRIE, AB. T8V 3A5		CUSTOMER: HART ENTERPRISE LTD. 4049 NORRIS ROAD CHETWYND, BC. V0C 1J0					
		1		ISSUED FOR CONSTRUCTION		11.OCT.2018									
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		CHECKED BY: CJM								WIDTH-STEEL-FAB-HSS-HSSDROP: 65-420-320-16-2.5		SHEET NO.: FB-1		PAGE NO.: 002 /14	



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BOX 366, 9301 - 125 STREET
GRANDE PRAIRIE, AB. T8V 3A5

PROJECT:
ATLAS 24
65'L10 x 108' - 420 GM
12' OC

CUSTOMER:
HART ENTERPRISE LTD.
4049 NORRIS ROAD
CHETWYND, BC. V0C 1J0

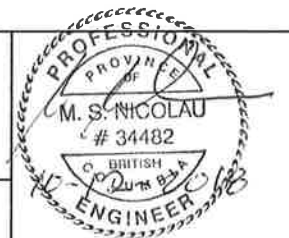
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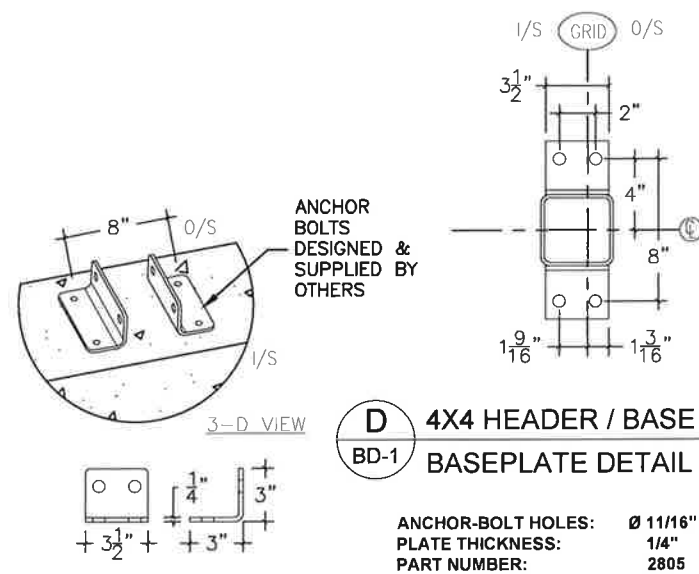
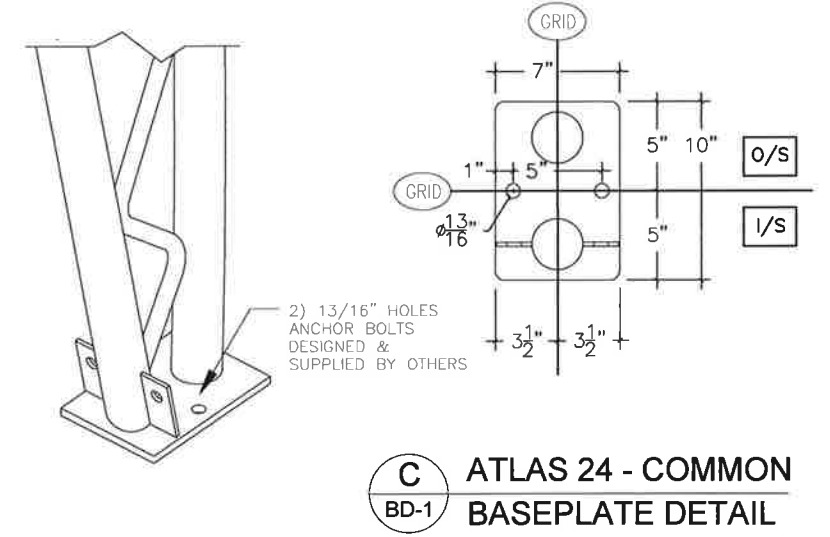
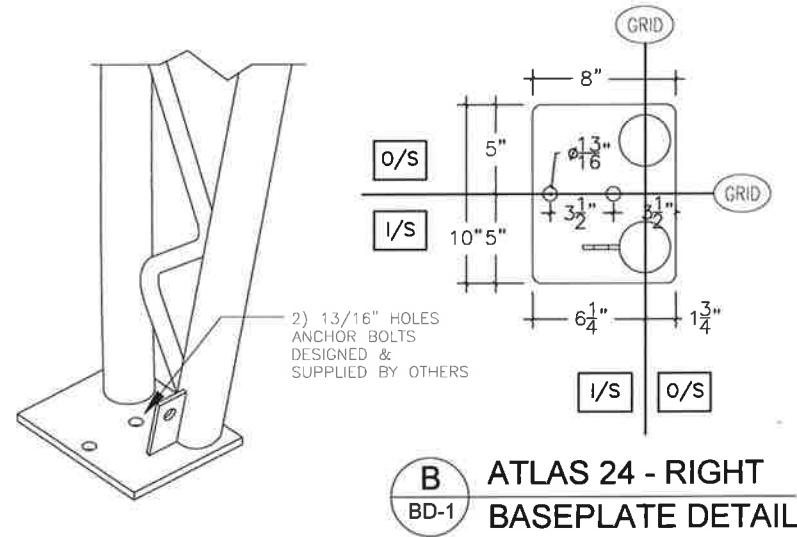
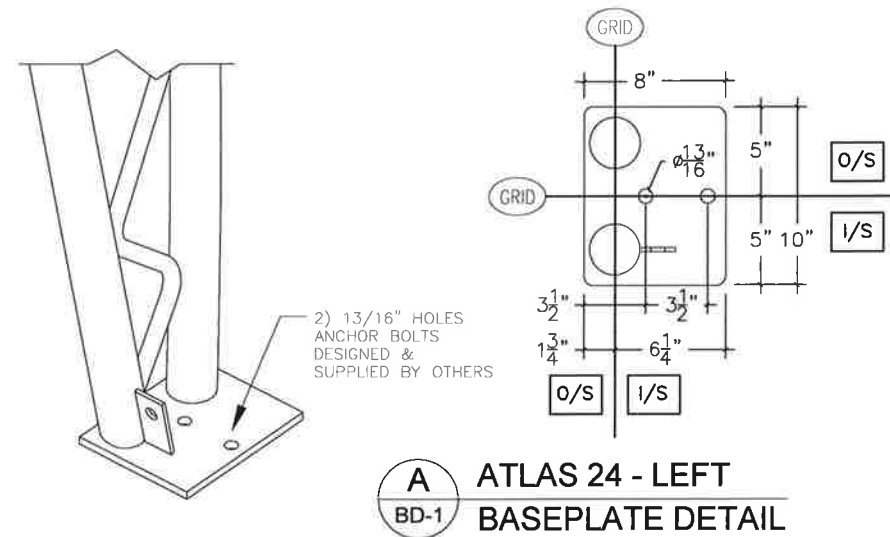
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DRAWING TITLE:
BASEPLATE LAYOUT

SHEET NO.:
FB-2

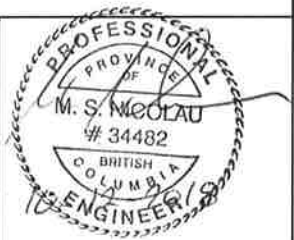
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003 / 14



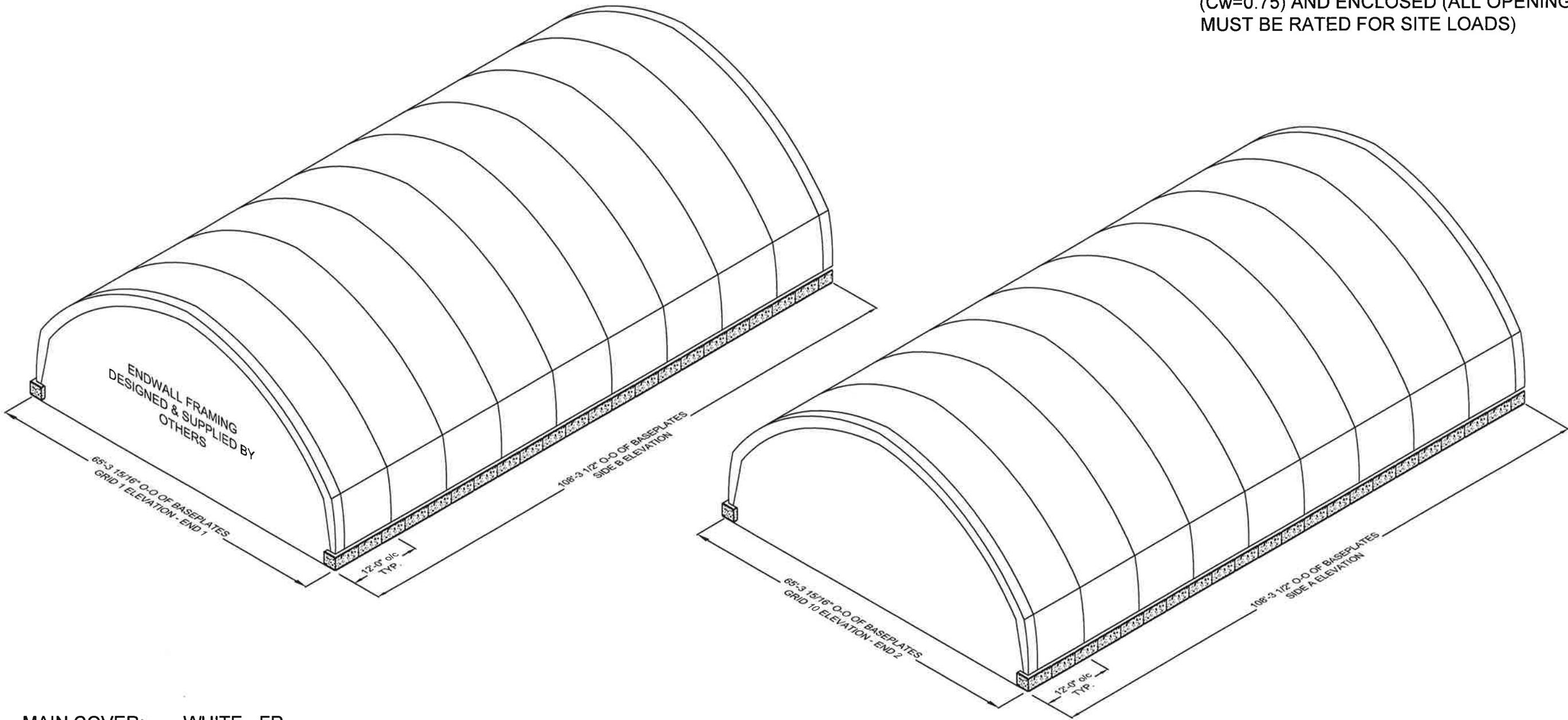


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	TWF							
	CHECKED BY:							
	CJM							





NOTE:
BUILDING IS DESIGNED AS EXPOSED
(Cw=0.75) AND ENCLOSED (ALL OPENINGS
MUST BE RATED FOR SITE LOADS)



MAIN COVER: WHITE - FR
ENDFLAPS: GREEN - FR
ENDWALL(S): WHITE - FR

FOUNDATION DESIGNED
& SUPPLIED BY OTHERS

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		DRAWN BY: TWF								
		CHECKED BY: CJM								

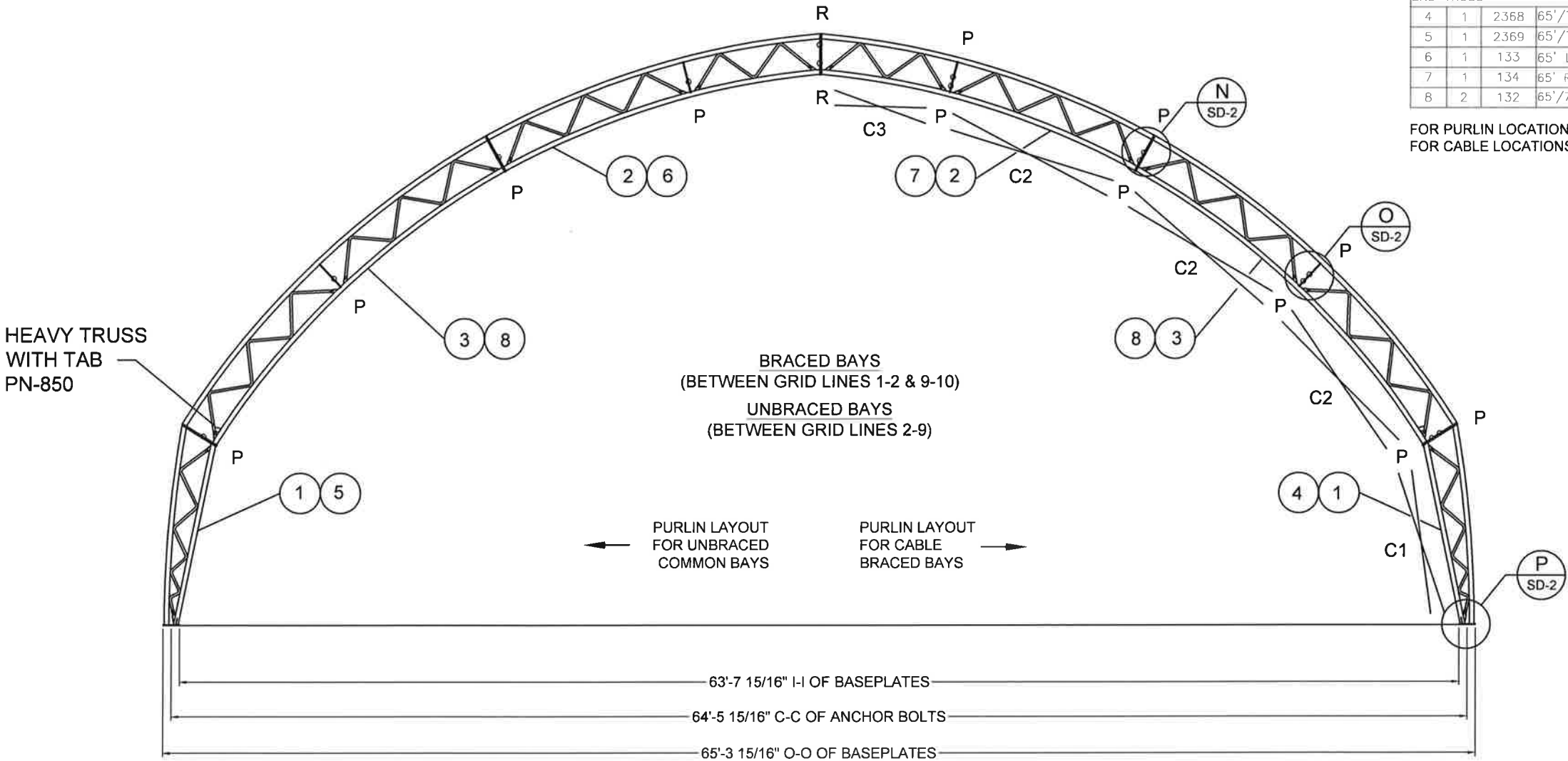
ZERO-TO-ZERO OF BASE PLATES = 97'-1 3/4"

ASSEMBLED TRUSS WEIGHT w/ BASEPLATES ~ 1160 lbs (each)

ATLAS 24 - 65'w

ITEM	QTY.	PART #	TRUSS & PART #
INTERIOR TRUSS			
1	2	2367	65'/72' COMMON 10' LEG
2	2	131	65' COMMON PEAK TRUSS
3	2	850	65'/70'/72'/82' COMMON TRUSS
END TRUSS			
4	1	2368	65'/72' LEFT END 10' LEG
5	1	2369	65'/72' RIGHT END 10' LEG
6	1	133	65' LEFT END PEAK TRUSS
7	1	134	65' RIGHT END PEAK TRUSS
8	2	132	65'/70'/80'/82' END TRUSS

FOR PURLIN LOCATIONS SEE: SD-1
FOR CABLE LOCATIONS SEE: SD-2



ATLAS 24-65'L10	12'-0" BAY		BRACING LEGEND
	ITEM #1	LENGTH	
C1 CABLE	861179-9	179"	P = PURLIN
C2 CABLE	861192-9	192"	R = RIDGE PURLIN
C3 CABLE	861167-9	167"	X = CROSS CABLE



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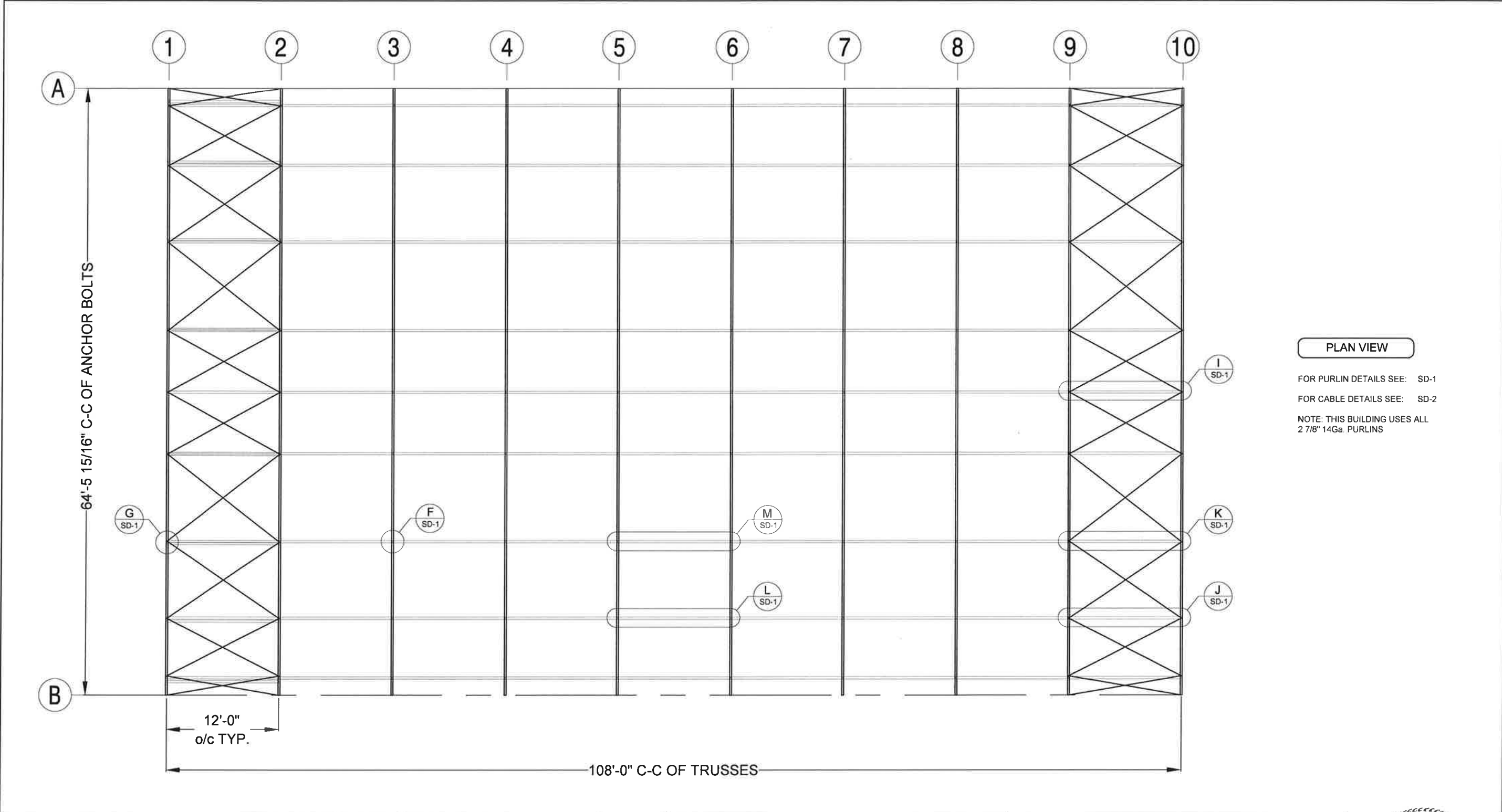
PROJECT:
ATLAS 24
65'L10 x 108' - 420 GM
12' OC

ORDER ID:
SO# 6336-01

WIDTH-STEEL-FAB-HSS-HSSDROP:
65-420-320-16-2.5

DRAWING TITLE:
PURLIN & X-CABLE LAYOUT

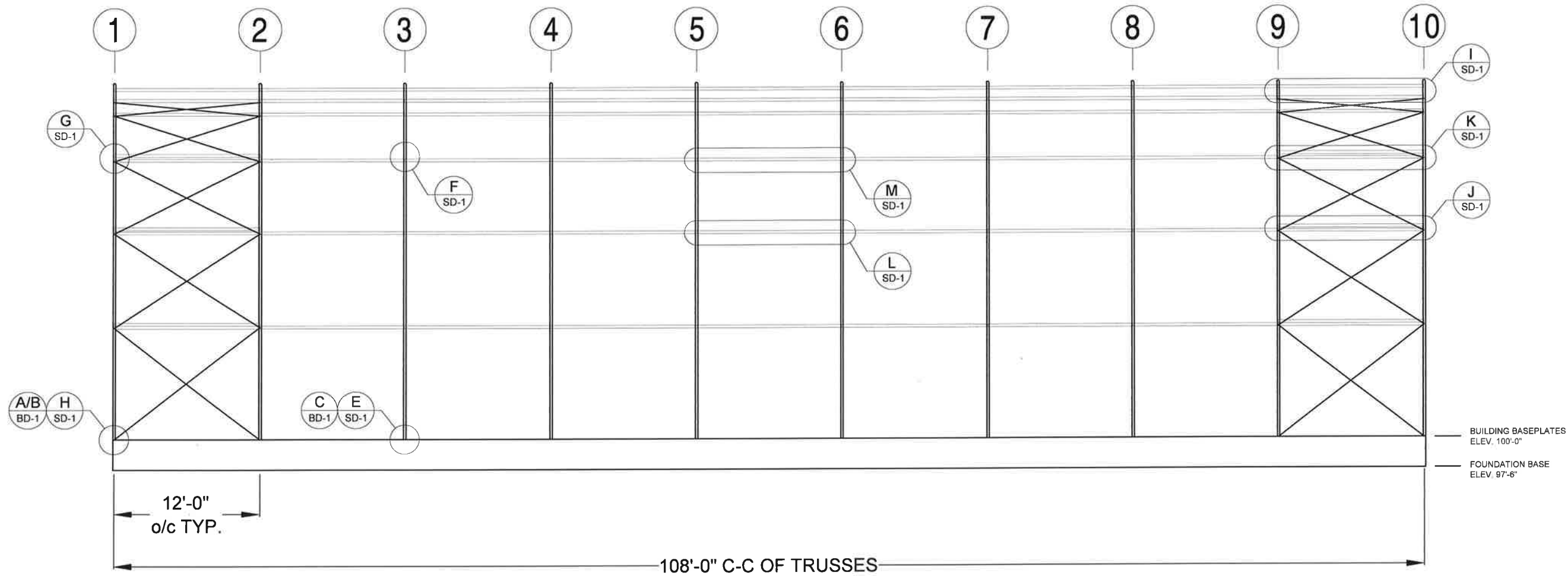
SHEET NO.: FB-4
PAGE NO.: 006/14



PLAN VIEW

FOR PURLIN DETAILS SEE: SD-1
FOR CABLE DETAILS SEE: SD-2
NOTE: THIS BUILDING USES ALL
2 7/8" 14Ga. PURLINS

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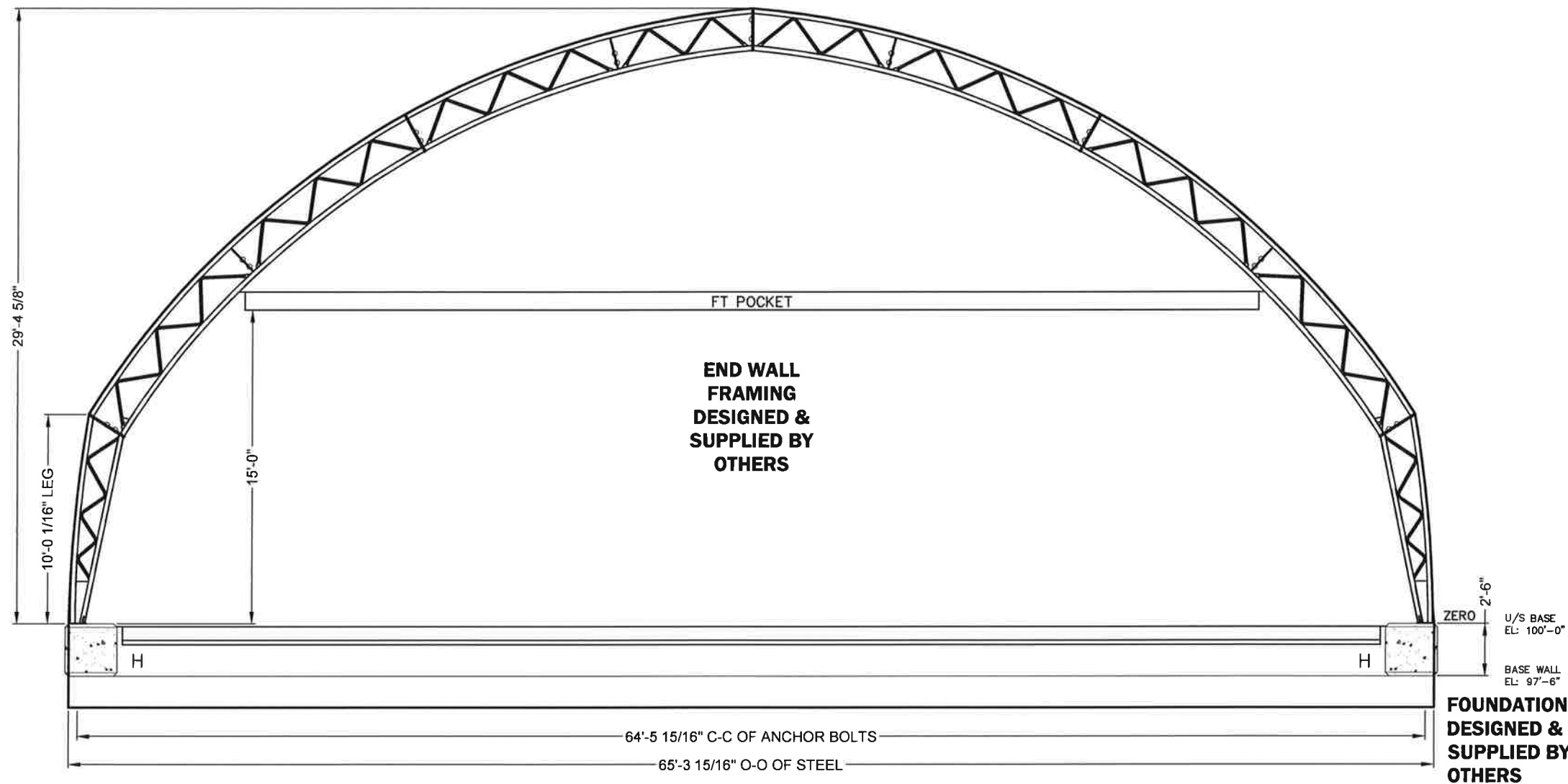
FOR PURLIN DETAILS SEE: SD-1
FOR CABLE DETAILS SEE: SD-2
NOTE: THIS BUILDING USES ALL
2 7/8" 14Ga PURLINS

ELEVATION

FOUNDATION DESIGNED
& SUPPLIED BY OTHERS

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							WIDTH-STEEL-FAB-HSS-HSSDROP: 65-420-320-16-2.5			SHEET NO.: FB-6	
		DRAWN BY: TWF									
		CHECKED BY: CJM									

- NOTES:
- 1. "H" DENOTES BLOCK WINCH & STRAP FOR FASTENING TUBE
 - 2. FINAL FABRIC TERMINATION DESIGNED & SUPPLIED BY OTHERS FOR ALL APRONS



GRIDLINE 1 - END 1



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PROJECT:	ORDER ID:
ATLAS 24 65'L10 x 108' - 420 GM 12' OC	SO# 6336-01
	WIDTH-STEEL-FAB-HSS-HSSDROP:
	65-420-320-16-2.5

DRAWING TITLE:	SHEET NO.:	PAGE NO.:
ENDWALL 1 LAYOUT	EW-1	009/14

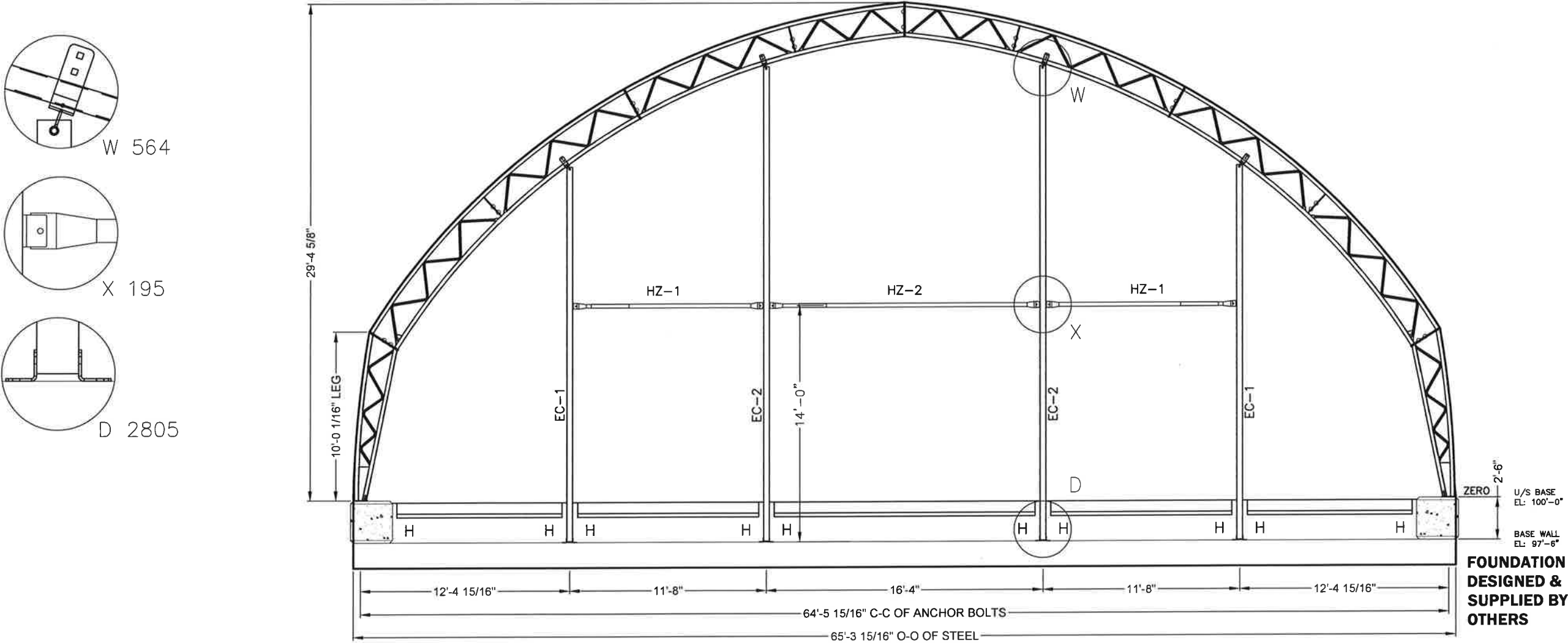


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DRAWN BY:
TWF
CHECKED BY:
CJM

- NOTES:
- 1. "H" DENOTES BLOCK WINCH & STRAP FOR FASTENING TUBE
 - 2. EC VERTICAL LOCATION DIMENSIONS ARE TO THE CENTRELINE OF MEMBERS
 - 3. FIELD DRILL HSS AS REQUIRED
 - 4. FINAL FABRIC TERMINATION DESIGNED & SUPPLIED BY OTHERS FOR ALL APRONS

MARK #	QTY.	COMPONENTS (in)
EC-1	2	1518-HSS- VERTICAL- 4" X 4" X 1/8"- 2" CENTRES - 267"
EC-2	2	1518-HSS- VERTICAL- 4" X 4" X 1/8"- 2" CENTRES - 337"
564	4	BRKT- 4" DEEP HSS TOP SADDLE- 2-7/8" CHORD
2805	8	HEADER/ BASE ANGLE- 4" X 4" HSS - 2" CENTRES
HZ-1	2	1529-39 (2 1/2 - 14GA) + 1531-122 (2 7/8" 14 GA)
HZ-2	1	1529-39 (2 1/2 - 14GA) + 1531-170 (2 7/8" 14 GA)
195	6	BRKT - ESS HORIZ. ANGLE



GRIDLINE 10 - END 2



TF: 800-407-5846
www.britespanbuildings.com

REV.	DESCRIPTION:	DATE:
1	ISSUED FOR CONSTRUCTION	11.OCT.2018

DEALER:
VERTICAL BUILDING SOLUTIONS INC.
BOX 366, 9301 - 125 STREET
GRANDE PRAIRIE, AB. T8V 3A5

CUSTOMER:
HART ENTERPRISE LTD.
4049 NORRIS ROAD
CHETWYND, BC. V0C 1J0

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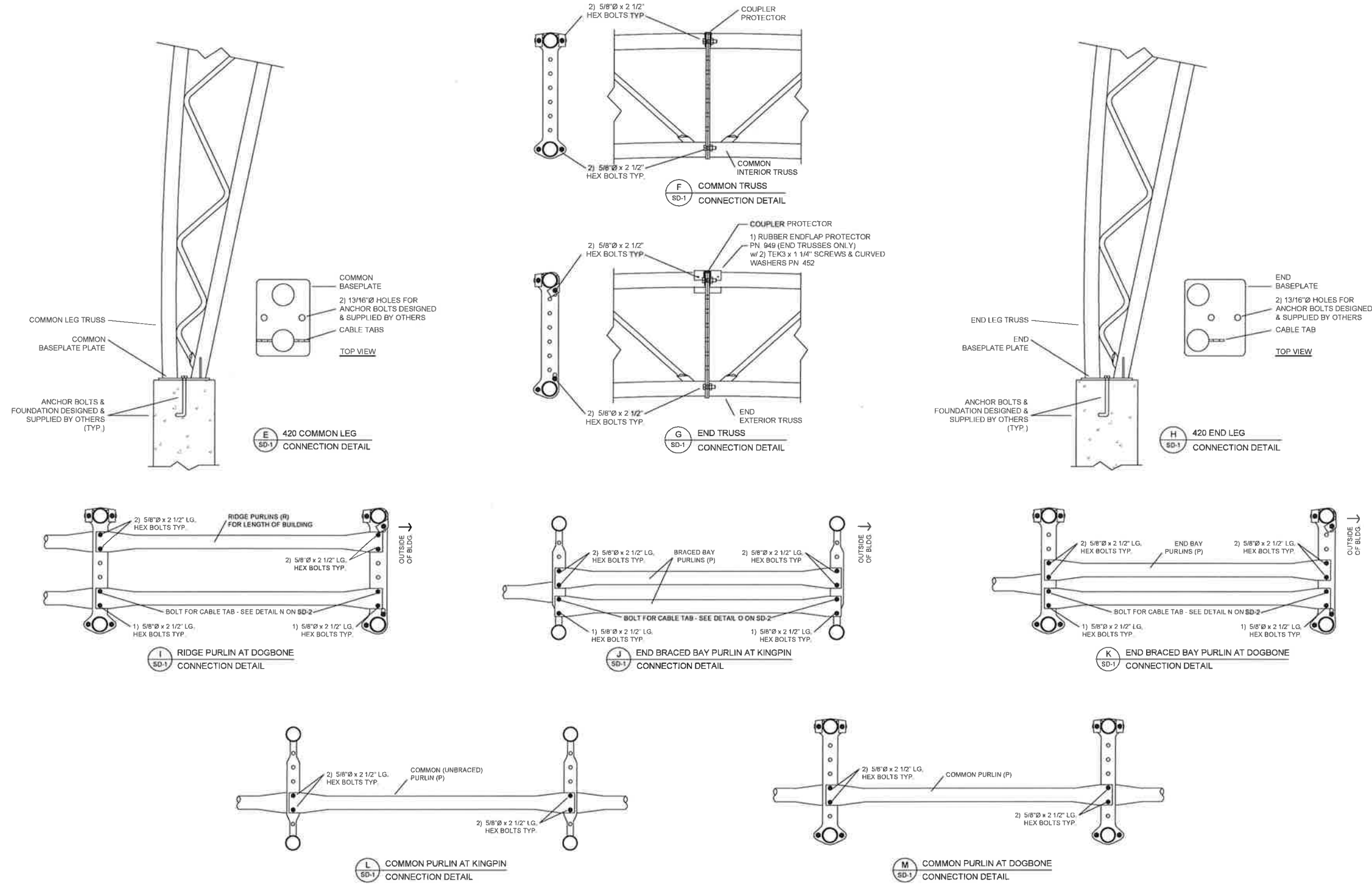
DRAWN BY:
TWF
CHECKED BY:
CJM

PROJECT:
ATLAS 24
65'L10 x 108' - 420 GM
12' OC

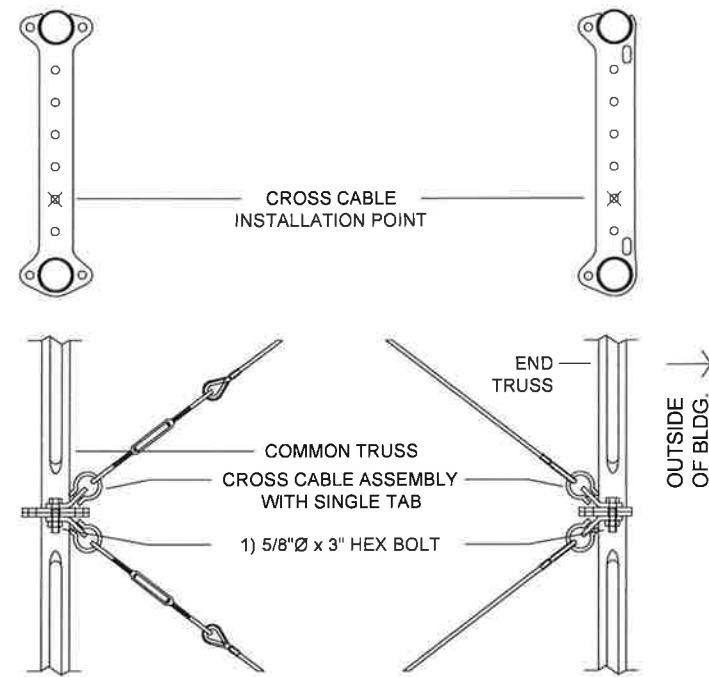
ORDER ID:
SO# 6336-01
WIDTH-STEEL-FAB-HSS-HSSDROP:
65-420-320-16-2.5

DRAWING TITLE:
ENDWALL 2 LAYOUT
SHEET NO.: **EW-2** PAGE NO.: **010/14**



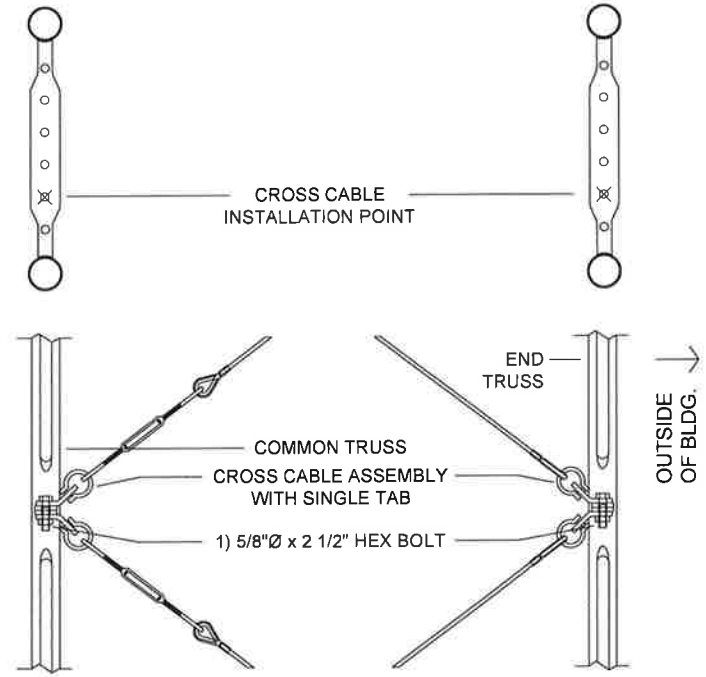


 TF: 800-407-5846 www.britespanbuildings.com	REV: DESCRIPTION: DATE:		DEALER: VERTICAL BUILDING SOLUTIONS INC. BOX 366, 9301 - 125 STREET GRANDE PRAIRIE, AB. T8V 3A5	CUSTOMER: HART ENTERPRISE LTD. 4049 NORRIS ROAD CHETWYND, BC. V0C 1J0			
	1	ISSUED FOR CONSTRUCTION					11.OCT.2018
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	CHECKED BY: CJM			WIDTH-STEEL-FAB-HSS-HSSDROP: 65-420-320-16-2.5	SHEET NO.: SD-1		PAGE NO.: 011 /14



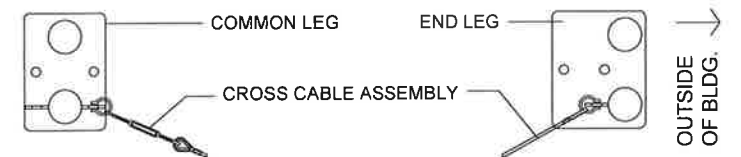
SINGLE BRACED END BAY

N CROSS CABLES AT DOGBONE
SD-2 CONNECTION DETAILS



SINGLE BRACED END BAY

O CROSS CABLES AT KINGPIN
SD-2 CONNECTION DETAILS



SINGLE BRACED END BAY

P CROSS CABLES AT LEG
SD-2 CONNECTION DETAILS



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DRAWN BY:
TWF

CHECKED BY:
CJM

REV:	DESCRIPTION:	DATE:
1	ISSUED FOR CONSTRUCTION	11.OCT.2018

DEALER:
VERTICAL BUILDING SOLUTIONS INC.
BOX 366, 9301 - 125 STREET
GRANDE PRAIRIE, AB. T8V 3A5

PROJECT:
ATLAS 24
65'L10 x 108' - 420 GM
12' OC

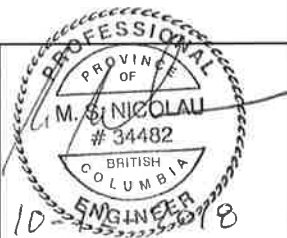
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SO# 6336-01

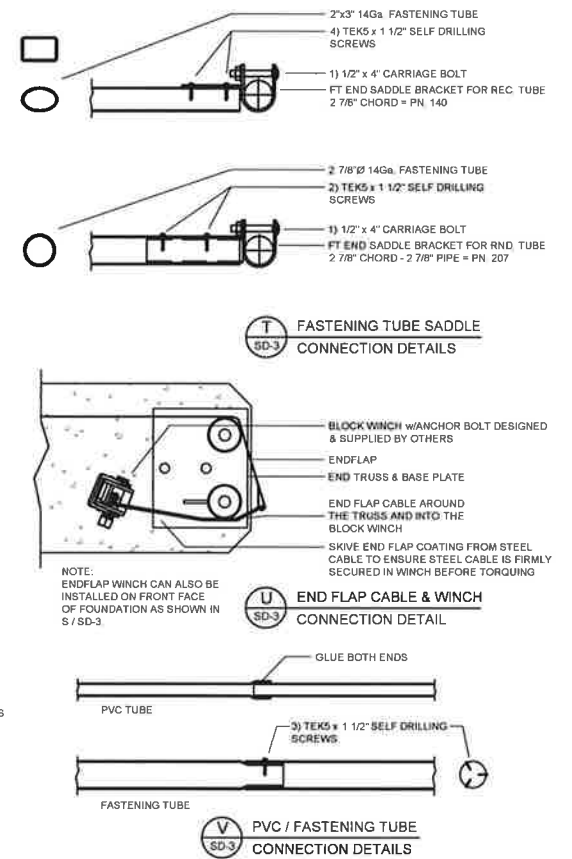
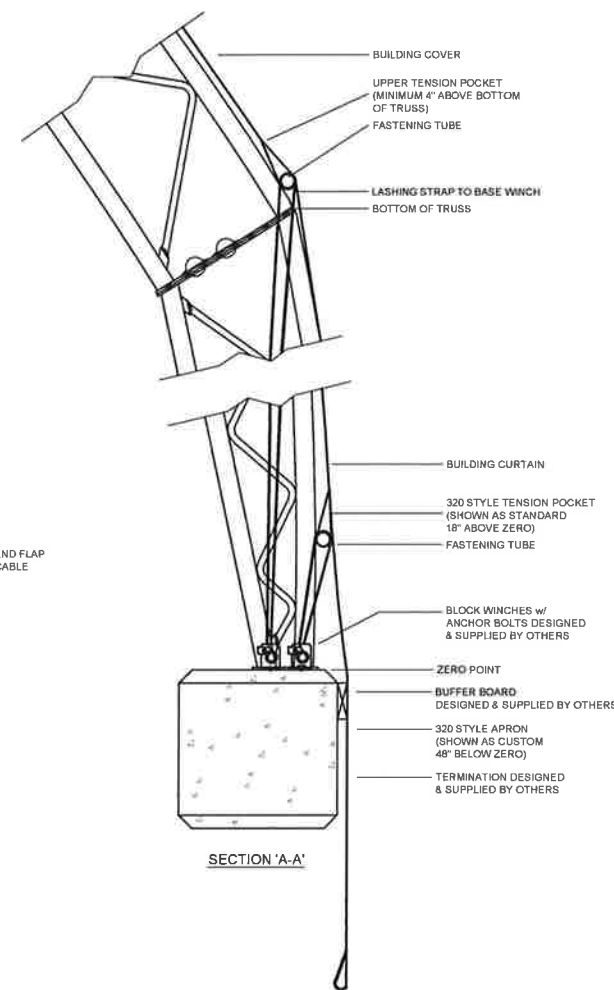
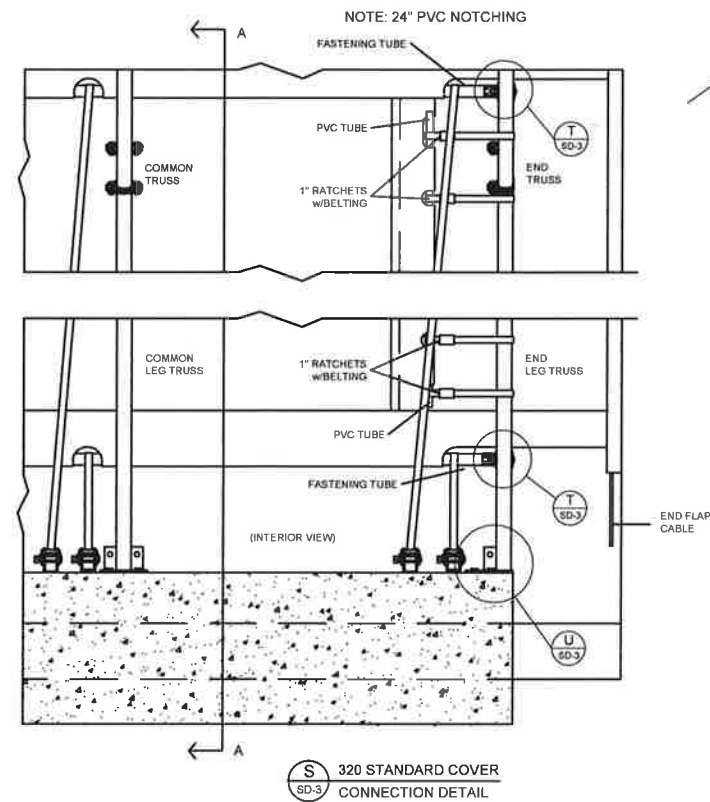
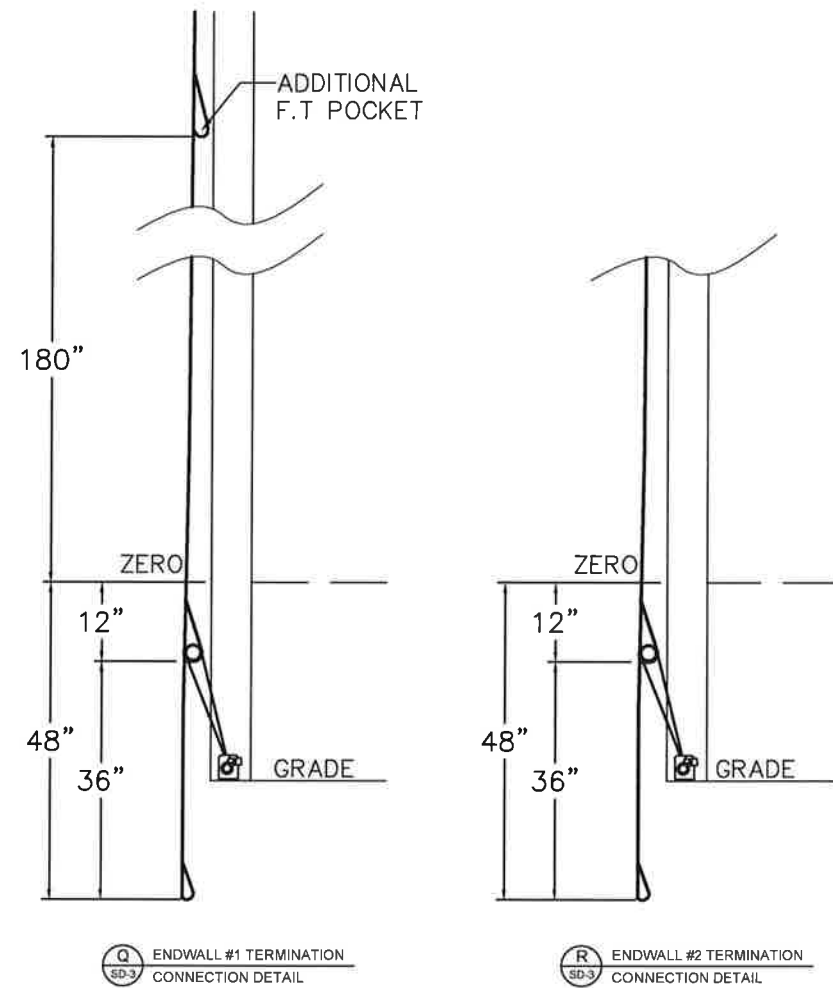
WIDTH-STEEL-FAB-HSS-HSSDROP:
65-420-320-16-2.5

CUSTOMER:
HART ENTERPRISE LTD.
4049 NORRIS ROAD
CHETWYND, BC. V0C 1J0

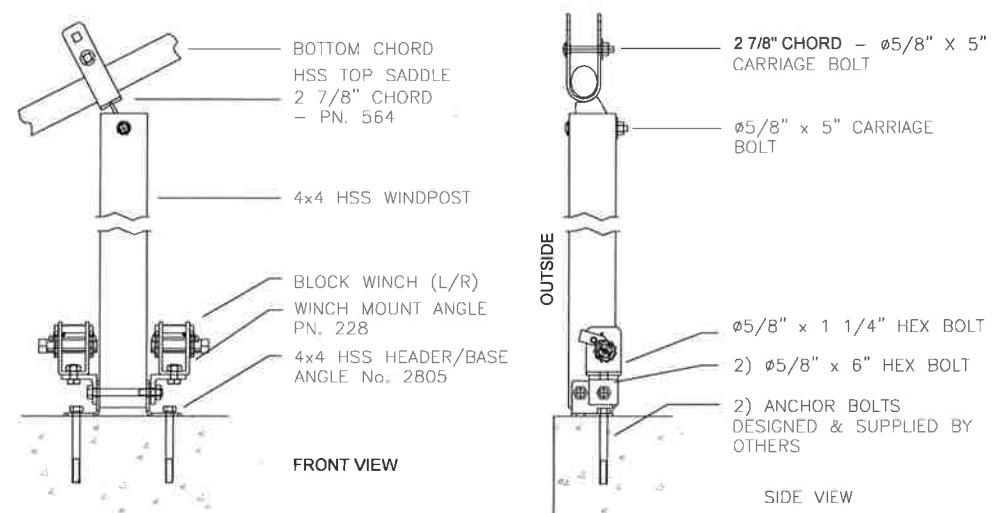
DRAWING TITLE:
STANDARD DETAILS

SHEET NO.: **SD-2** PAGE NO.: **012/14**



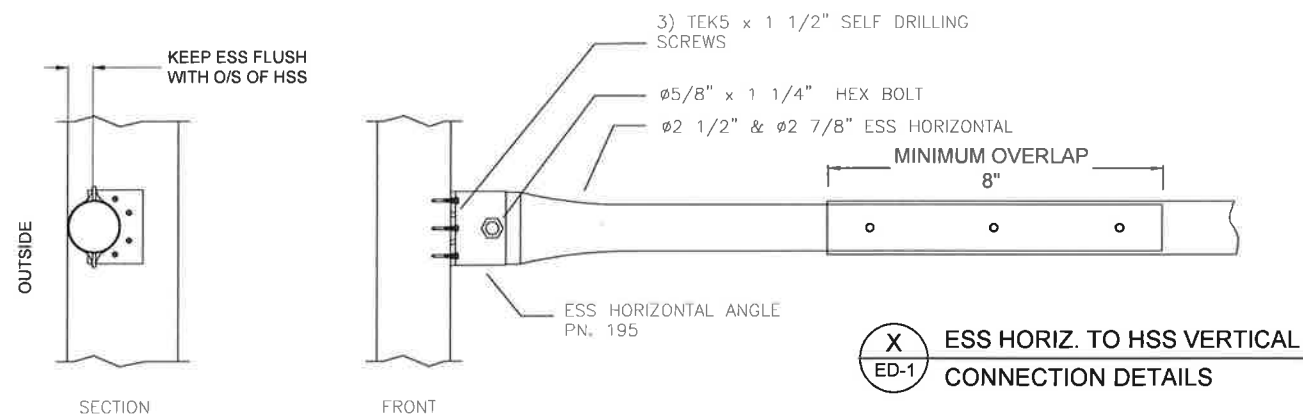


 TF: 800-407-5846 www.britespanbuildings.com		REV:		DESCRIPTION:		DATE:		DEALER: VERTICAL BUILDING SOLUTIONS INC. BOX 366, 9301 - 125 STREET GRANDE PRAIRIE, AB. T8V 3A5				CUSTOMER: HART ENTERPRISE LTD. 4049 NORRIS ROAD CHETWYND, BC. V0C 1J0					
		1		ISSUED FOR CONSTRUCTION		11.OCT.2018											
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		TWF															
		CHECKED BY:															
		CJM															

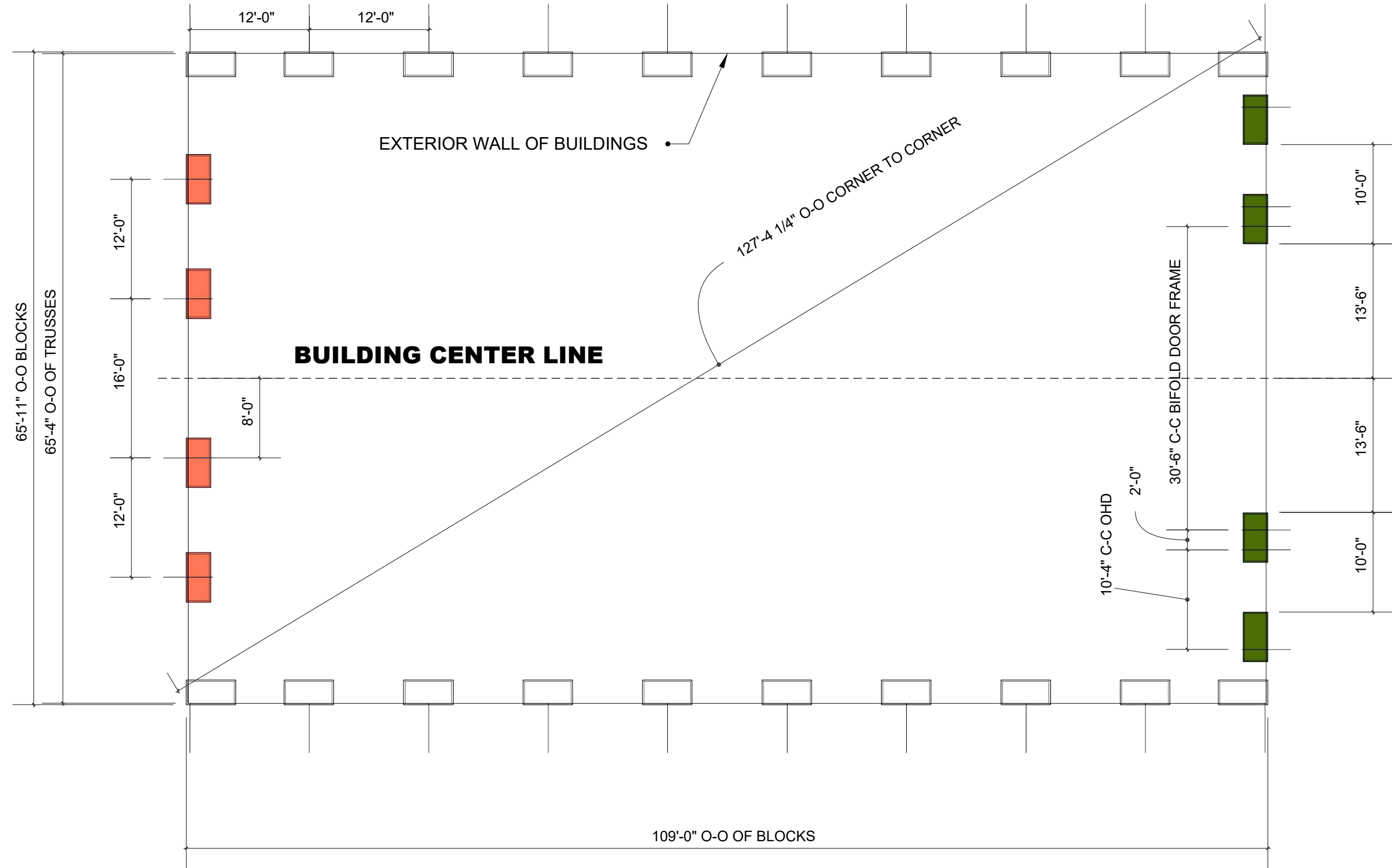


4x4 HSS WINDPOST CONNECTION DETAILS

D BD-1 W ED-1



 TF: 800-407-5846 www.britespanbuildings.com		REV:	DESCRIPTION:	DATE:	DEALER: VERTICAL BUILDING SOLUTIONS INC. BOX 366, 9301 - 125 STREET GRANDE PRAIRIE, AB. T8V 3A5	CUSTOMER: HART ENTERPRISE LTD. 4049 NORRIS ROAD CHETWYND, BC. V0C 1J0		
		1	ISSUED FOR CONSTRUCTION	11.OCT.2018				
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		CHECKED BY:	CJM		ATLAS 24 65'L10 x 108' - 420 GM 12' OC	SO# 6336-01	ENDWALL DETAILS	
						WIDTH-STEEL-FAB-HSS-HSSDROP: 65-420-320-16-2.5	SHEET NO.: ED-1	PAGE NO.: 014/14



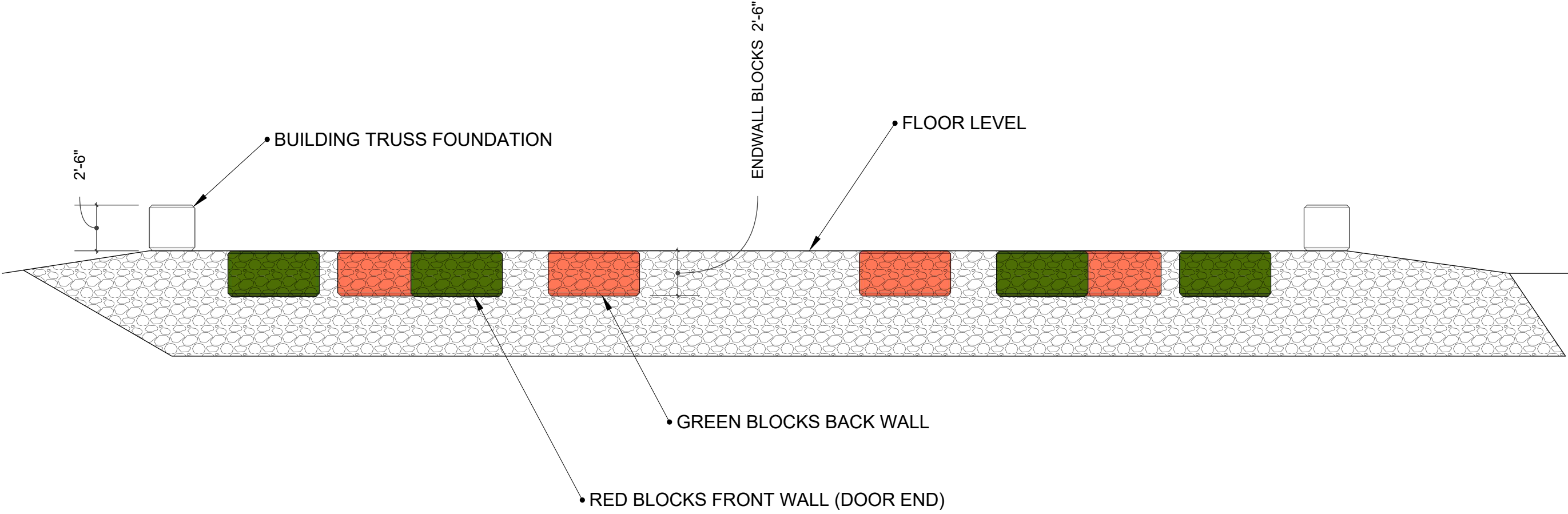
PROJECT
BORTON

VERTICAL BUILDING SOLUTIONS, Inc.

PO Box 366, Grande Prairie, AB T8V 3A5
tel: 1.855.532.0366

www.verticalbuildings.com







PEACE RIVER REGIONAL DISTRICT

Notice of Intent to Consider

TEMPORARY USE PERMIT No. 18-288

When:

Thursday May 30, 2019
10:00 am

Where:

PRRD Dawson Creek Head
Office

1981 Alaska Ave, Dawson
Creek B.C.

For More Information:

Contact:
Development Services

Tel: 250-784-3200
Toll Free: 1-800-670-7773
Email: prrd.dc@prrd.bc.ca

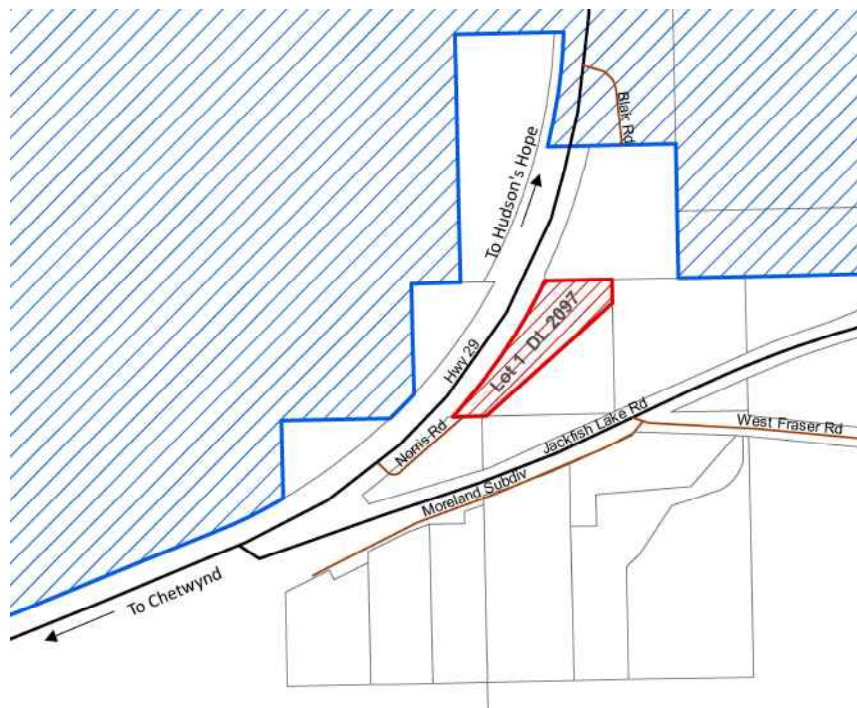


prrd.bc.ca | 

Chetwynd Area

Lot 1, District Lot 2097 PRD Plan PGP43510

Proposal: Development of a $\pm 652 \text{ m}^2$ (7,020 ft^2) building for the operation of commercial storage for the following but not limited to: recreational vehicles, all-terrain vehicles, farm equipment, furniture, and household items.



This notice is in general form only. Relevant background documents may be inspected from Monday through Friday, excluding holidays, between the hours of 8:30 am – 4:30 pm at the PRRD Dawson Creek office (1981 Alaska Avenue, Dawson Creek, BC) or 8:30 am – Noon and 1:00 pm – 4:30 pm at the PRRD Fort St. John office (9505-100th Street, Fort St. John, BC). Written comments or concerns accepted.

Shawn Dahlen, Chief Administrative Officer

diverse. vast. abundant.

May 30, 2019

Archived: Wednesday, April 24, 2019 1:41:20 PM
From: [Director Dan Rose](#)
Sent: Wednesday, April 24, 2019 9:21:10 AM
To: Katrin Saxty
Cc: Shawn Dahlen; Kole Casey
Subject: RE: Borton TUP
Sensitivity: Normal

Thank you please proceed with TUP, no more questions other than to the process. Perhaps Beth recognizes that in her email. Thanks, Dan

From: Katrin Saxty [ksaxty@urbansystems.ca]
Sent: Wednesday, April 24, 2019 8:35 AM
To: [Director Dan Rose](#)
Cc: Shawn Dahlen; Kole Casey; Carolyn Dunn
Subject: FW: Borton TUP

Good morning Director Rose:

I hope you had an excellent long weekend.

Further to the email that I believe Shawn sent to you about a week ago summarizing a conversation that Kole and I had with Beth at MoTi on April 14 regarding Mr. Borton, I wanted to update you on a follow-up email that was received from MoTi late last week. I meant to get this out to you before the long weekend – apologies for the delay in doing that.

The following email was received from MoTi to confirm the conversation that Kole and I had with Beth and to provide additional direction and confirmation. I hope this provides the clarity and certainty that you and Mr. Borton require with respect to the TUP and ultimately a future rezoning, provided no complaints or safety issues arise during the duration of the TUP.

In the meantime, we are reviewing the TUP application/package so that it can come before the Board soon.

Please let us know if you have any further questions.

Many thanks,
K

Katrin Saxty, RPP, MPA
Community Planner



10808 – 100th Street
Fort St. John, BC V1J 3Z6
T: 250 785 9697 x 8211
C: 250 793 3701
ksaxty@urbansystems.ca
urbansystems.ca

From: Kole Casey <Kole.Casey@prrd.bc.ca>
Sent: April 18, 2019 11:31 AM
To: Katrin Saxty <ksaxty@urbansystems.ca>
Subject: FW: Borton TUP

May 30, 2019

See below. Answer from MoTI.

From: Bahm, Beth TRAN:EX <Beth.Bahm@gov.bc.ca>

Sent: Thursday, April 18, 2019 9:11 AM

To: Kole Casey <Kole.Casey@prrd.bc.ca>

Subject: Borton TUP

Hi Kole,

In review of our conversation regarding the Borton TUP and rezoning, I feel through the multiple changes in direction, things have gotten a bit more complicated than needed or required by the Ministry. In answer to your questions:

- Yes, if no complaints or safety issues arise from the TUP, the Ministry would be in support of the rezoning without the need for TIS or covenant.
- No additional tracking or counting is required than what the applicant would do for his own business purposes. If a complaint or safety issue arise from the TUP and a TIS is requested at the time of rezoning, it would be completed by a professional traffic engineer who would be able to supply the warranted information.

If you have any questions or concerns or additional clarification is needed, please do not hesitate to contact me.

Thank You,

Beth Bahm | District Development Technician | Ministry of Transportation and Infrastructure | Peace District

300-10003-11 Avenue, Fort St. John, BC V1J 6M7

Direct Line: 250-787-3445 | Reception: 250-787-3237 | Fax: 250-787-3279

Beth.Bahm@gov.bc.ca

May 30, 2019

Archived: Monday, April 29, 2019 1:38:00 PM
From: [Patrick A Borton](#)
Sent: Saturday, November 3, 2018 8:41:50 AM
To: Kole Casey
Subject: RE: additional information required for TUP
Sensitivity: Normal
Attachments:
[TUP Requirement.docx](#) 

Hi Kole

I have attached a word document out lining our response to the information requested. If you require any more information or have more question please contact us.

Thank you
Pat Borton

Sent from [Mail](#) for Windows 10

From: [Kole Casey](#)
Sent: November 1, 2018 11:53 AM
To: [Patrick A Borton](#)
Cc: [Katrin Saxty](#); [PRRD_ Internal](#)
Subject: additional information required for TUP

Hello Patrick,

As we move forward with this TUP we have to acknowledge that the OCP and zoning for this property will still be for residential use. Therefore the PRRD requires some additional information and securities before we move forward. The information request is with the notion that the OCP and zoning proposal will not go through at present. With that in mind can you provide us with the following:

- A reclamation plan explaining on how you plan to rehabilitate the land back to the previous state after the commercial storage use is removed.
- A quote from a third party for the cost of completing the reclamation work (we will need to require a security deposit). This is precaution so that there are financials available to properly return the land to its previous state if required.
- How you plan to direct drainage so that it does not impact the environment or adjoining properties.

If or when the OCP and zoning amendment is approve this proposed TUP (if approved) will become void and the security deposit will be returned to you.

If you have questions please don't hesitate to ask either by email or phone.

All the best,

Kole Casey | South Peace Land Use Planner
PEACE RIVER REGIONAL DISTRICT | Direct: 250-784-3205 |
kole.casey@prrd.bc.ca | www.prrd.bc.ca

May 30, 2019

TUP Requirement

Our Business philosophy is:

- The business has minimal impact to the environment, our neighbours and our family (As we will live on the property)
- Involves minimal physical labour and through traffic.
- Is value added to our customers, clean, professional, safe and secure property?
- Building and out buildings are all portable and can be sold for 50 to 75 cent on the dollar in the event that the business is not viable
- The business will progress in stages as the budget permits.
- Solar power will be installed and grow with business to be self sufficient.
- The property will blend into the environment with trees and scrubs that will not impact negatively on customer property.

1) Reclamation Plan:

The building is designed to be portable and will be sold to minimise financial loss and comply with all zoning rules and regulations set forth by PRRD.

If not removed by the buyer the removal of the building can be handled by the owner of the property which will require the use of a man lift @ \$125.00/hr, Approx. 16 hours will be needed at a cost of \$2000.00. A picker truck will be used to remove the building trusses @ \$145.00/hr Approx. 8hrs will be needed at a cost of \$1160.00.

The building pad is gravel and can be blended into the landscape with the owner's equipment (Excavator, Skid steer and tractor). The land has had minimal changes such as levelling of the grounds. This can be shown by the mapping program from the PRRD web site.

2) Third party Quote

The supplier/installer of the Coverall building is currently preparing an estimate to remove the building. Once we have received the estimate, a copy will be sent to PRRD. Will the above removal by owner be acceptable to the PRRD?

3) Drainage

Drainage has not been impacted by the building pad or levelling of the property as alterations have been minimal and have not compromised or altered the existing drainage. The retention time for snow and rain runoff however, has been increased as the land was slightly sloped before leveling. All the existing ditching has been cleaned out and widened for improved runoff. The runoff between the highway and the property no longer runs off the lower end of the property. It now flows to the Ministry of Transportation road and ditching. Between the road to the house, and the road to the shop has been cleared out of debris, and dirt from years of accumulation and is now lower than the roads to collect runoff.

Bahm, Beth TRAN:EX

From: Patrick A Borton <[REDACTED]>
Sent: Friday, February 15, 2019 3:08 PM
To: Bahm, Beth TRAN:EX
Subject: Re: Traffic flow form self storage

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Beth

To start with, I am a contractor in the Oil & Gas and Forestry Industry as a Gas Plant Operator/Millwright, Insulation, sheet metal work and landscaping. So just for my vehicle I have 3 commercial vehicle (3500/1 ton) trucks and 2 commercial trailers. The majority of the time I use one of these trucks at one time unless I hire some help. My Wife runs our residential rental business and she has a ½ ton pickup. So 2 Vehicles three to four times a day.

1. How many total vehicles will be utilizing the site per day?

15 to 20 vehicles per day total not including my vehicles.

2. What type of vehicles will be utilizing the site? We need to see the exact breakdown for example could we expect to see 5 pickup trucks and 2 RV's per day? Please provide these specifics including the u-haul and Canada self-storage proposal.

10 car/light pickups,
 4 Transport trucks,
 1 U-haul trucks (5500)/trailers
 4 RVs motor homes, Fifth Wheels, pull trailers and campers Note: No RV traffic during winter months

(Note I contact U-haul and in Chetwynd they did 110 transaction so about 10 Vehicle/trailer a month) Their biggest truck is a ford 650 and GMC 5500)

3. Is there a busy period of day or is traffic consistent throughout?

The business Hours are from 8:00 am to 5:00 pm

8:00 am to 10:00 am (highest traffic flow)

12:00 to 1:00 pm (low traffic flow)

4:00 to 5:00 pm (Moderate traffic flow)

There will be limited after hours access that is card/cell phone access controlled only, this will be limited to 4 Transport trucks max and between 5 to 10 RVs depending on capacity. After hours for self storage will be very limited and on a case by case bases.

Transport trucks 4:00 am to 6:00 am, 4:00 pm to 6:00 pm or as per road restrictions. (Note that we have not had any transport truck since Sept 2018)

The RVs traffic will start around Thursday evening and Friday morning and return on Sunday throughout the day and early Monday morning (Note No RV traffic during winter months)

4. Which direction will most traffic be coming from or going to?

The majority of traffic flow will be to and from Chetwynd SW

I hope this helps if you have any questions or concerns please contact me.

Thank you
Pat Borton

From: Bahm, Beth TRAN:EX <Beth.Bahm@gov.bc.ca>
Sent: February 14, 2019 3:28 PM
To: 'Patrick A Borton'
Cc: Prothman, Kristy TRAN:EX
Subject: RE: Traffic flow form self storage

Hi Pat,

Thanks for the information provided so far. We are in the process of reviewing the options available and it would really help streamline our understanding if you could clarify the following:

1. How many total vehicles will be utilizing the site per day?
2. What type of vehicles will be utilizing the site? We need to see the exact breakdown for example could we expect to see 5 pickup trucks and 2 RV's per day? Please provide these specifics including the u-haul and Canada self-storage proposal.
3. Is there a busy period of day or is traffic consistent throughout?
4. Which direction will most traffic be coming from or going to?

Please provide approximate numbers that could be expected. We understand this will be an estimate and appreciate your effort and time; the more information that can be given will help us move forward.

Beth Bahm | District Development Technician | Ministry of Transportation and Infrastructure | Peace District
300-10003-11 Avenue, Fort St. John, BC V1J 6M7
Direct Line: 250-787-3445 | Reception: 250-787-3237 | Fax: 250-787-3279
Beth.Bahm@gov.bc.ca

From: Prothman, Kristy TRAN:EX
Sent: Tuesday, February 5, 2019 4:04 PM
To: Bahm, Beth TRAN:EX
Subject: FW: Traffic flow form self storage

Kristy Prothman | Senior District Development Technician
 Peace District | Fort St. John
 Ministry of Transportation and Infrastructure
 Office: 250-787-3336
 Email: Kristy.Prothman@gov.bc.ca

From: Kole Casey [mailto:Kole.Casey@prrd.bc.ca]
Sent: Tuesday, February 5, 2019 3:47 PM
To: Prothman, Kristy TRAN:EX
Subject: FW: Traffic flow form self storage

From: Patrick A Borton <[REDACTED]>
Sent: Friday, February 1, 2019 11:46 AM
To: Kole Casey <Kole.Casey@prrd.bc.ca>
Subject: Traffic flow form self storage

Hi Kole

I attach traffic flow from our business this may help you when talking to MOT

Self-storage shorthand for "**self-service storage**", and also known as "**mini storage**") is an industry in which **storage** space (such as rooms, lockers, containers, and/or outdoor space), also known as "**storage units**" is rented to tenants, usually on a short-term basis (often month-to-month).

Note: Self-storage has a low traffic flow per month as storage space is rent out on monthly bases

We have a 65' by 108' coverall building that can store up to

10 units - 40' Motor homes, 5th wheel/ pull campers, Vehicle, Boats or farm equipment

10 units - Parking stalls (Uncovered) in development for RV and Boats to be finished this year.

And or a combination of different size RVs, Vehicles, Farm equipment.

We predict that most of the storage will be in the winter and would not be move during the winter season. Most of the traffic would move in and out during the fall and spring months and slow during the summer.

20 units - Storage units in development to be finished this year.

4 units - Parking Stalls for Semi Truck (Empty). That would move out in the morning and then return in the evening.

Access to the business is from Highway 29, between the Jaskfish Lake turn off and the Regional District Landfill turn.

We are 0.3km northeast of the Jackfish Lake turn off which service a Sawmill, gravel pits and a large rural community.

We are also 0.8km southwest from the Regional District landfill.

The sight line northeast towards the regional District land fill is 0.4 km and Southwest toward Jackfish Lake turnoff is 1km. the degree of slope is 7 degrees. The Jackfish lake turnoff is 3 degrees turning left and 4 degrees turning right and the Regional District landfill is 5 degrees. The sight line is very similar at all intersections.

Conclusion.

We will have up to

- 10 to 20 RVs move in during September October, November for winter storage and leave in late March, April and May.
- 10 RV would stay and move in and out throughout the week during the months of May, June, July, Aug
- 5 to 10 Vehicle would move in and out per month for the storage units.
- 3 or 4 Semi trucks leaving in the morning and returning in the evening up to 7 Days per week maximum.

Our primary ideal client is from a residential nature and not a heavy industrial commercial operation.

Thanks
Pat Borton

Sent from [Mail](#) for Windows 10

Archived: Tuesday, May 7, 2019 10:52:10 AM

From: Bahm, Beth TRAN:EX

Sent: Thursday, April 18, 2019 9:10:43 AM

To: Kole Casey

Subject: Borton TUP

Response requested: Yes

Sensitivity: Normal

Hi Kole,

In review of our conversation regarding the Borton TUP and rezoning, I feel through the multiple changes in direction, things have gotten a bit more complicated than needed or required by the Ministry. In answer to your questions:

- Yes, if no complaints or safety issues arise from the TUP, the Ministry would be in support of the rezoning without the need for TIS or covenant.
- No additional tracking or counting is required than what the applicant would do for his own business purposes. If a complaint or safety issue arise from the TUP and a TIS is requested at the time of rezoning, it would be completed by a professional traffic engineer who would be able to supply the warranted information.

If you have any questions or concerns or additional clarification is needed, please do not hesitate to contact me.

Thank You,

Beth Bahm | District Development Technician | Ministry of Transportation and Infrastructure | Peace District

300-10003-11 Avenue, Fort St. John, BC V1J 6M7

Direct Line: 250-787-3445 | Reception: 250-787-3237 | Fax: 250-787-3279

Beth.Bahm@gov.bc.ca

May 30, 2019

Archived: Monday, November 26, 2018 9:47:29 AM
From: Aaron Thompson
Sent: Thursday, November 22, 2018 1:43:07 PM
To: Kole Casey
Subject: RE: PRRD referral for PRRD Temporary Use Permit, PRRD File No. 18-288.
Sensitivity: Normal

Kole,

The City of Dawson Creek's interests are unaffected by this application.



Aaron Thompson, BPI

City Planner
 City of Dawson Creek
 P - 250.784.3601
www.dawsoncreek.ca
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From: Admin Account
Sent: November-22-18 1:12 PM
To: Aaron Thompson
Cc: Kevin Henderson
Subject: FW: PRRD referral for PRRD Temporary Use Permit, PRRD File No. 18-288.

From: Kole Casey [mailto:Kole.Casey@prrd.bc.ca]
Sent: November-21-18 4:17 PM
To: Stenbraaten, Angela; resource.development@northernhealth.ca; Allison.Mackay@BCOGC.ca; Wagner, Scott; AuthorizingAgency.FortStJohn@gov.bc.ca; d-chet@gochetwynd.com; clerk@hudsonshope.ca; Lisa Ford; Admin Account; admin@poucecoupe.ca; tradmin@dtr.ca; RJamurat@fortstjohn.ca; 'Charlene Jackson' (CJackson@fortstjohn.ca); Isabulsky@gochetwynd.com
Subject: PRRD referral for PRRD Temporary Use Permit, PRRD File No. 18-288.

Hello,

Please see attached PRRD referral for a PRRD Temporary Use Permit, PRRD File No. 18-288 for your review. Please review the application in accordance with your policies and regulations.

Thank you,

Kole Casey | South Peace Land Use Planner
 PEACE RIVER REGIONAL DISTRICT | Direct: 250-784-3205 |
kole.casey@prrd.bc.ca | www.prrd.bc.ca



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May 30, 2019

Archived: Tuesday, December 11, 2018 11:53:41 AM

From: [Carol Newsom](#)

Sent: Tuesday, December 11, 2018 7:31:34 AM

To: Kole Casey

Subject: TUP File No. 18-288

Sensitivity: Normal

Please note that Council considered PRRD File No. 18-288 at its December 10, 2018 Regular Council meeting and has no objections to this project. Thank you.

[Carol Newsom](#), CMC
Chief Administrative Officer
District of Chetwynd
5400 Hospital Road
Chetwynd, BC V0C 1J0
Telephone: (250) 401-4100
Fax: (250) 401-4101
www.gochetwynd.com

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May 30, 2019



Ministry of
Transportation
and Infrastructure

Peace River Regional District
PO Box 810
1981 Alaska Avenue
Dawson Creek, BC V1G 4H8

Attn: Kole Casey, South Peace Land Use Planner

The Ministry of Transportation and Infrastructure (MoTI) has received and reviewed your referral dated November 21, 2018 for a Temporary Use Permit (TUP) for the development of a ±652 sq.m (7,020 ft²) building within Lot 1, District lot 2097, PRD, Plan PGP43510. The Ministry of Transportation and Infrastructure has received and reviewed the proposal and has no objections. It should be noted that all conditions within the pending restrictive covenant (PRD file 180-2017), pertaining to access and land use, apply.

Thank you for the opportunity to comment. If you have any questions, please contact me at 250-787-3237.

Sincerely,



Beth Bahm, District Development Technician

Ministry of
Transportation and
Infrastructure

Peace District

Mailing Address:
District Office Address:
#300, 10003 - 110th Avenue
Fort St John, BC V1J 6M7
Telephone: (250) 787-3237
Facsimile: (250) 787-3279

Area Office Locations:
1201 103 Ave, 3rd floor
Dawson Creek, BC

4744 – 52 Street
Chetwynd, BC V0C 1J0

May 30, 2019



Ministry of
Transportation
and Infrastructure

Peace River Regional District
PO Box 810
1981 Alaska Avenue
Dawson Creek, BC V1G 4H8

Attn: Kole Casey, South Peace Land Use Planner

The Ministry of Transportation and Infrastructure (Ministry) has received and reviewed your referral dated November 21, 2018 for a Temporary Use Permit (TUP) located at PID: 024-589-543, L 1 DL 2097 PEACE RIVER PL PGP43510, for the development and operation of a commercial storage facility for the following but not limited to: recreational vehicles, all-terrain vehicles, farm equipment, furniture, household items.

The Ministry originally responded to this referral on November 6, 2018 stating objections at that time. Since our original response, the proponent has provided additional information that has satisfied our concerns at this time. This letter cancels and replaces the letter dated November 26, 2018. The Ministry is in support of the proposal however, the following conditions must be met:

1. The subject lot fronts on a Controlled Access (CA) Highway. For protection of the highway corridor and the safety of the travelling public, private accesses are permitted only at the discretion of the ministry. CA Highways carry stringent requirements for access, with a preference for alternate access. No direct access to Highway 29N is supported. All access is to be via the side road network (Norris Road).
2. A commercial access permit is required for the connection to Norris Road. The developer is to apply online for an 'Access, Commercial' permit to the Ministry of Transportation and Infrastructure prior to final TUP approval. Application and information can be found at:
<http://www.th.gov.bc.ca/permits/Highway%20Access%20Permits.asp>
3. The permission granted is temporary and shall expire 18 months from date the TUP is issued.
4. Permission is granted for works described in Appendix A.
5. Should the project as proposed generate more than 50 trips per day, a Traffic Impact Study may be required at the Ministry's discretion.

Thank you for the opportunity to comment. If you or the applicant has any questions or concerns; I encourage you to contact me at (250) 787-3445 or by email at Beth.Bahm@gov.bc.ca.

Sincerely,



Beth Bahm, District Development Technician

Ministry of
Transportation and
Infrastructure

Peace District

Mailing Address:
District Office Address:
#300, 10003 - 110th Avenue
Fort St John, BC V1J 6M7
Telephone: (250) 787-3237
Facsimile: (250) 787-3279

Area Office Locations:
1201 103 Ave, 3rd floor
Dawson Creek, BC

4744 – 52 Street
Chetwynd, BC V0C 1J0

May 30, 2019

December 11, 2018

South Peace Land Use Planner
Peace River Regional District
Box 810, 1981 Alaska Avenue
Dawson Creek, BC V1G 4H8

Dear: Kole Casey

Re: TUP #18-288 – Lot 1, District lot 2097, PRD, Plan PGP43510

This letter is in regards to the Temporary Use Permit application at the above noted location. The purpose of this permit is to develop a 652 sq. m (7020 ft²) building for the operation of commercial storage for the following but not limited to: recreational vehicles, all-terrain vehicles, farm equipment, furniture, household items.

Based on the intent of this application, Northern Health has no objections to the issuing of a Temporary Use Permit to the applicant. The applicant, hereafter referred to as the operator, must adhere to the following conditions:

1. As per the *Public Health Act [SBC 2008] Ch. 28*, the operator must not create a health hazard.
2. As per the *Public Health Act [SBC 2008] Ch. 28*, if the operator is required by regulation to have a licence or permit to engage in a regulated activity, the operator must obtain such licence or permit by submitting the appropriate application to the health officer prior to construction or operation of the regulated activity.
3. As per the *Public Health Act [SBC 2008] Ch. 28*, an operator who engages in a regulated activity must comply with any requirement or duty set out in a regulation respecting the regulated activity.
4. As per the *Drinking Water Protection Act [SBC 2001] Ch. 9*, the operator must not cause or allow contamination of a drinking water source, a well recharge zone, or an area adjacent to a drinking water source.

If you have any questions or concerns, please contact the undersigned.

Sincerely,



Ali Moore
Environmental Health Officer

May 30, 2019



Sales Contract

Between

Pat Borton, Hart Enterprise Ltd.

And

Vertical Building Solutions, Inc.

Q003300

19 November 2018

Prepared By



May 30, 2019

Vertical Building Solutions, Inc.

Box 366, Grande Prairie, AB T8V 3A5
 Ph. (780) 532-0366
 TF: (855) 532-0366

www.verticalbuildings.com

**Building dismantle - QUOTE**

Pat Borton, Hart Enterprise Ltd.
PO Box 952
5401 Hillside Ave
Chetwynd
BC V0C 1J0
Canada

Prepared by: Mark Loos
Date: 19 November 2018
Quote Number: Q003300
Job Number:

Costs	Quantity	Amount
Building Dismantle. Price to dismantle Model 65 I10 Britespan building package.	1.00	5,500.00
		Subtotal
		5,500.00

Applicable taxes will be added on invoice

AB. 5% G.S.T
 BC. 5% G.S.T. plus 7% P.S.T. on materials only
 YK, NWT and Nunavut G.S.T. 5%

Acceptance:

I the purchaser (**Initial**)_____ agree in full to the terms of this Order/Delivery Order for the goods described herein. This Purchase Order/Delivery Order , together with the unconditional acceptance hereto, constitutes the entire and only agreement between the Parties relating to the provisions as described herein, and supersedes any other previous representation, whether expressed, oral or implied, or any inducement or agreement of any kind or nature.

Any modification to the terms and conditions of this Order/Delivery Order shall be issued in writing by us and shall only be valid upon your written acceptance.

As a duly authorized representative of Pat Borton, Hart Enterprise Ltd. , I hereby accept the terms of the foregoing Sales Order Contract, and authorize Vertical Building Solutions to proceed with the scope of work described above.

Signed on the 19 November 2018, in the city of Chetwynd, in the province of _____.

 Signature

 Title

 Witness Name (please sign AND print)

May 30, 2019



Thank you for selecting Vertical Building Solutions for your building needs.

Standard Terms and Conditions:

1. Vertical Building Solutions shall invoice based on the following standard terms and conditions:
 - a. 50% deposit – Due upon acceptance of the IFA Drawing package (If required). Please note that no buildings or components will be ordered by VBS prior to the receipt of funds
 - b. 40% progress payment upon mobilization to site.
 - c. 10% holdback payment upon substantial completion of the building package and delivery of all items identified in the sales contract.
2. No warranties are expressed or implied other than that provided by the manufacturer. The entire structure and all options shall remain the property of Vertical Building Solutions until such time as the building is paid for in full.
3. A minimum cancellation fee of \$500.00 or a re-stocking charge of (20%) will be charged on orders cancelled after five (5) days from the contract date.
4. 2% charge on all visa payments over \$500.00
5. Vertical Building Solutions reserves the right to enter the customer's premises until the invoice is paid in full. 3% per month will be charged on overdue accounts. Vertical Building Solutions assumes no responsibility for claims regarding the performance of the building unless written, nor claims made resulting from alterations made to the building other than those specifically designed and installed by Vertical Building Solutions.
6. Unless specifically identified to the contrary in this contract the customer is responsible for all below ground conditions for foundations as subgrade conditions are subject to change and unseen obstacles and or frost conditions may result in extra charges.
7. Unless specifically identified in this contract as included by Vertical Building Solutions the customer is responsible for all Subgrade line and obstacle identification
8. Unless specifically identified in this contract as included by Vertical Building Solutions the customer is responsible for all grade requirements and backfill of any kind. Including providing and installation of cover for aprons.
9. Unless specifically identified in this contract as included by Vertical Building Solutions the customer is responsible for all Government and regulatory requirements including but not limited to Development permits and building permits.
10. Customer is responsible for providing an accessible site, graded and levelled, suitable for supporting the foundation requirements of the building, and nature of construction activities, including the operation of heavy equipment. VBS is not responsible for damage to the site resulting from vehicle movements and equipment operation during the construction phase of the project.
11. Security of materials and equipment on site is the sole responsibility of the customer.



PEACE RIVER REGIONAL DISTRICT

TEMPORARY USE PERMIT NO. 18-288 (Borton)

ISSUED TO: Name: Patrick & Sheri Borton
 Address: 5401 Hillside Avenue
 Chetwynd, B.C.
 V0C 1N0

- A. 1. Property affected: Lot 1, District Lot 2097, PRD, Plan PGP43510 PID: 024-589-543
2. Official Community Plan: West Peace OCP Bylaw No. 1086, 1997 "Residential"
3. Zoning Bylaw: Peace River Regional District Zoning Bylaw No. 1343, 2001 "R-3 (Residential 3 Zone)"
- B. Development upon the land referenced in this permit shall conform to the following specifications and terms:
1. This *Temporary Use Permit* is valid up to and including the *30/November/2020*, at which time it shall expire and the property affected by this permit will be subject to the applicable zoning regulations.
 2. The property referenced in Item A (1) above may be used for the following Temporary purposes in addition to those permitted by the zoning applicable to the property:
 - i. Development of a ±652 sq.m (7,020 sq.ft) building for the operation of a commercial storage facility for the following but not limited to: recreational vehicles, all-terrain vehicles, farm equipment, furniture, household items, as shown in the shaded area of Schedule 'A'.
 3. The conditions under which the Temporary Use must be carried out are as follows:
 - i. Permit to be posted on site for its duration;
 - ii. Compliance with all statutory and bylaw requirements;
 - iii. Receipt of security to ensure the dismantling of the building (Schedule B) that will be used for the proposed use stated above in the amount of \$5,500 prior to issuance of the permit.
 - iv. Reclamation of the site to pre-TUP conditions to a condition satisfactory to the PRRD, must be completed within 90 days of the expiration of the permit.
 - v. Failure to comply with (iv) above authorizes the Peace River Regional District to enter on the land and carry out the reclamation at the expense of the owner.
 - vi. The security is to be returned only after the PRRD receives a confirmation letter and photos indicating that the building has been removed and the land has been returned to pre-TUP conditions.
 - vii. Business hours will be from 8 am to 5 pm with limited afterhour's access as required.
 - viii. That the applicant keep a record of traffic flow into the subject property. This record will consists of the number of vehicles entering the property and the type of vehicle entering.
 - ix. The temporary use may occur on the noted area of the property as shown on Schedule 'A' attached to and forming a part of this permit;

May 30, 2019

4. All terms and specifications referred to above are subject to any changes required by the Building Inspector or other officials of the Peace River Regional District where such terms and specifications do not comply with any duly enacted law or bylaw and such noncompliance is not specifically permitted by this Temporary Use Permit.
5. THIS IS NOT A BUILDING PERMIT.

Issued this _____ day of _____, 20____.

This permit is authorized by Peace River Regional District Board Resolution No. _____
passed on the 30 of May, 2019.

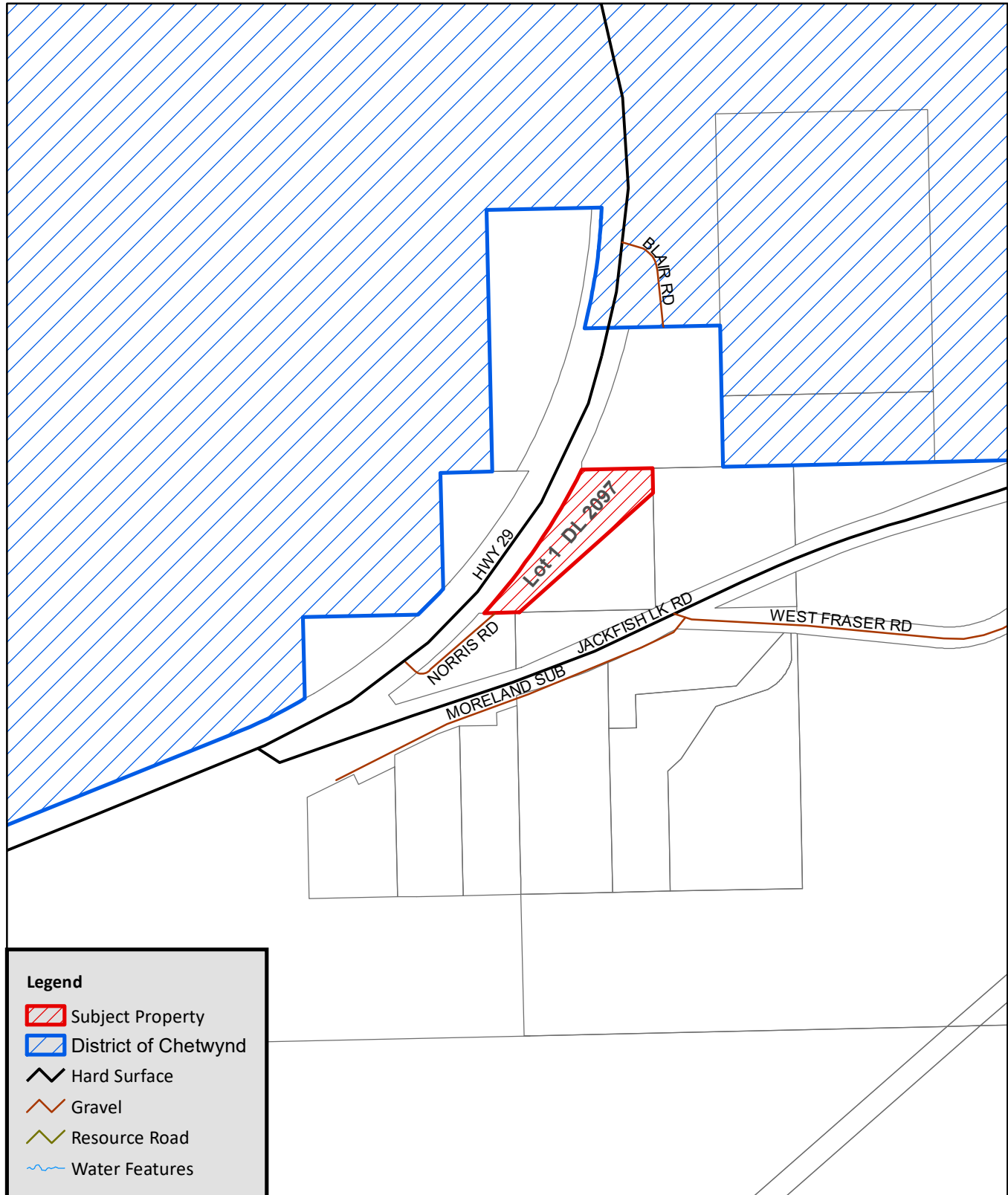
Authorized Signatory

Schedule 'A' (Map) is attached to and forms part of the Temporary Use Permit.
Schedule 'B' (Storage Building) is attached to and forms part of the Temporary Use Permit.

May 30, 2019

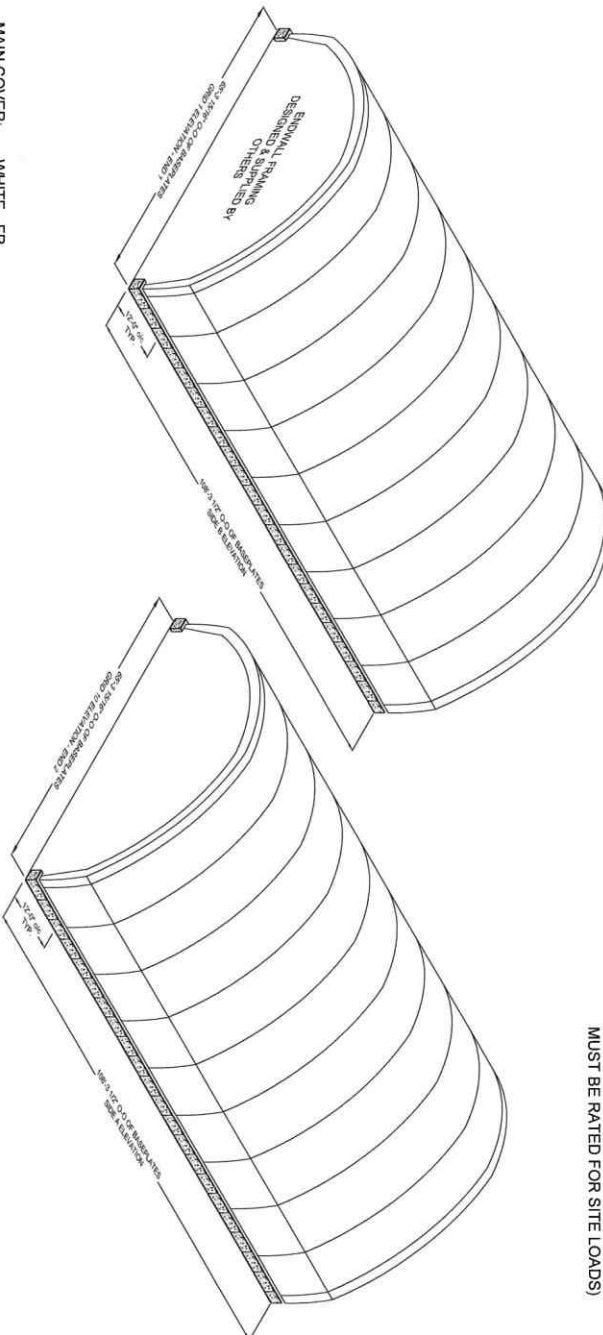


Peace River Regional District
SCHEDULE "A"
Temporary Use Permit
No. 18-288



MAIN COVER:	WHITE - FR
ENDFLAPS:	GREEN - FR
ENDWALL(S):	WHITE - FR

FOUNDATION DESIGNED
& SUPPLIED BY OTHERS



NOTE:
BUILDING IS DESIGNED AS EXPOSED
($C_w=0.75$) AND ENCLOSED (ALL OPENINGS
MUST BE RATED FOR SITE LOADS)

[illegible]